

CLAREMONT ARCHITECTURAL COMMISSION

MEETING AGENDA

"We are a vibrant, livable, and inclusive community dedicated to quality services, safety, financial strength, sustainability, preservation, and progress with equal representation for our community."

City Council Chamber
225 Second Street
Claremont, CA 91711



Wednesday
June 12, 2019
7:00 PM

COMMISSIONERS

MARK SCHOEMAN
CHAIR

WAEN MESSNER

BOB PERRY

BRIAN WORLEY

JOHN NEIUBER

SCOTT HORSLEY

FRANK PERRI

CALL TO ORDER THE MEETING OF THE ARCHITECTURAL COMMISSION

ROLL CALL

CEREMONIAL MATTERS, PRESENTATIONS, AND ANNOUNCEMENTS

PUBLIC COMMENT

The Commission has set aside this time for persons in the audience who wish to comment on items that ARE NOT LISTED ON THIS AGENDA, but are within the jurisdiction of the Architectural Commission. Members of the audience will later have the opportunity to address the Architectural Commission regarding ALL OTHER ITEMS ON THE AGENDA at the time the Commission considers those items.

At this time the Commission will take public comment for 30 minutes. Public Comment will resume later in the meeting if there are speakers who did not get an opportunity to speak because of the 30-minute time limit.

The Brown Act prohibits the Commission from taking action on oral requests relating to items that are not on the agenda. The Commission may engage in a brief discussion, refer the matter to staff, and/or schedule requests for consideration at a subsequent meeting.

The Commission requests, but does not require, speakers to identify themselves. When you come up to speak, please state your name unless you wish to remain anonymous. Each speaker will be allowed four (4) continuous minutes.

CONSENT CALENDAR

All matters listed on the consent calendar are considered to be routine. The Architectural Commission or one or more Commissions and/or Committees have previously considered most of the items on the consent calendar. The Commission may act on these items by one motion following public comment.

Only Commissioners may pull an item from the consent calendar for discussion.

The Commission will waive reading of resolutions. Each resolution will be numbered following Commission approval.

Now is the time for those in the audience to comment on the consent calendar. Each speaker will be allowed four (4) continuous minutes to comment on items on the consent calendar.

1. ARCHITECTURAL COMMISSION MEETING MINUTES OF APRIL 24, 2019

Recommendation: Staff recommends that the Architectural Commission approve the Architectural Commission Meeting Minutes of April 24, 2019.

Attachment(s): Draft Architectural Commission Meeting Minutes of April 24, 2019

PUBLIC HEARING

Each speaker providing public comment will be allowed four (4) continuous minutes to speak, which cannot be delegated.

2. ARCHITECTURAL AND SITE PLAN REVIEW #19-A01, REVIEW OF PROPOSED FIRST AND SECOND STORY ADDITIONS TO THE REAR OF THE EXISTING HISTORIC RESIDENCE, NEW ACCESSORY DWELLING UNIT, AND NEW DETACHED GARAGE LOCATED AT 1011 HARVARD AVENUE. Applicant - WHEELER & WHEELER ARCHITECTS

Recommendation: Staff recommends that the Architectural Commission adopt A RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF CLAREMONT APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #19-A01, REVIEW OF PROPOSED FIRST AND SECOND STORY ADDITIONS TO THE REAR OF THE EXISTING HISTORIC RESIDENCE, NEW ACCESSORY DWELLING UNIT, AND NEW DETACHED GARAGE LOCATED AT 1011 HARVARD AVENUE. APPLICANT - WHEELER & WHEELER ARCHITECTS

Attachment(s): Draft Resolution
Site Plan and Elevations
Detail Architectural Sketches - Foundation, Siding, and Columns
Claremont Heritage Letter
Historic Resources Form - 1011 Harvard Avenue

ADMINISTRATIVE ITEM**3. FOOTHILL BOULEVARD IMPROVEMENTS UPDATE - ORAL REPORT**

Recommendation: Staff recommends that the Architectural Commission receive and file the update report for the Foothill Boulevard Improvements

REPORTS**Commission**

Mayor/Chair Meeting

Commissioner Comments

Staff

Briefing on Council Meetings

Briefing on Other Items

Upcoming Agendas and Events

ADJOURNMENT

THE NEXT REGULAR MEETING OF THE CLAREMONT ARCHITECTURAL COMMISSION WILL BE HELD ON JUNE 26, 2019, AT 7:00 P.M. IN THE CLAREMONT CITY COUNCIL CHAMBER, 225 SECOND STREET.

MATERIALS RELATED TO AN ITEM ON THIS AGENDA, AND SUBMITTED TO THE ARCHITECTURAL COMMISSION AFTER PUBLICATION OF THE AGENDA, ARE AVAILABLE TO THE PUBLIC IN THE CITY CLERK'S OFFICE AT 207 HARVARD AVENUE, CLAREMONT, MONDAY THROUGH THURSDAY, 7 AM – 6 PM. SUBJECT MATERIALS WILL BE MADE AVAILABLE ON THE CITY WEBSITE AS SOON AS POSSIBLE - www.ci.claremont.ca.us. For more information, please call the City Clerk's Office at 909-399-5461.

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, THIS AGENDA WILL BE MADE AVAILABLE IN APPROPRIATE ALTERNATIVE FORMATS TO PERSONS WITH DISABILITIES. ANY PERSON WITH A DISABILITY WHO REQUIRES A MODIFICATION OR ACCOMMODATION IN ORDER TO PARTICIPATE IN A CITY MEETING SHOULD CONTACT THE CITY CLERK AT 909-399-5461 "VOICE" OR 1-800-735-2929 "TT/TTY" AT LEAST THREE (3) WORKING DAYS PRIOR TO THE MEETING, IF POSSIBLE.

I, NHI ATIENZA, ADMINISTRATIVE ASSISTANT OF THE CITY OF CLAREMONT, CALIFORNIA, HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE FOREGOING AGENDA WAS POSTED AT CLAREMONT CITY HALL, 207 HARVARD AVENUE, ON JUNE 6, 2019, PURSUANT TO GOVERNMENT CODE SECTION 54954.2.

ANY ITEMS WHICH HAVE NOT BEEN INITIATED BY 10:00 P.M. WILL BE CONTINUED TO THE NEXT REGULARLY SCHEDULED ARCHITECTURAL COMMISSION MEETING. FURTHER, ANY ITEM INITIATED BEFORE 10:00 P.M. ON WHICH A CONCLUSION HAS NOT BEEN REACHED BY 10:15 P.M. WILL BE CONTINUED TO THE NEXT REGULARLY SCHEDULED MEETING OF THE ARCHITECTURAL COMMISSION.

POST THROUGH: JUNE 13, 2019



Claremont Architectural Commission

Agenda Report

File #: 2942

Item No: 1.

TO: ARCHITECTURAL COMMISSION

FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR

DATE: JUNE 12, 2019

Reviewed by:

Finance Director: N/A

SUBJECT:

ARCHITECTURAL COMMISSION MEETING MINUTES OF APRIL 24, 2019

RECOMMENDATION

Staff recommends that the Architectural Commission approve the Architectural Commission Meeting Minutes of April 24, 2019.

PUBLIC NOTICE PROCESS

This item has been noticed through the regular agenda notification process. Copies are available at the City Hall public counter, Youth Activity Center, Alexander Hughes Community Center, and City website.

Submitted by:

Brad Johnson
Community Development Director

Prepared by:

Nhi Atienza
Administrative Assistant

Attachment:

Draft Architectural Commission Meeting Minutes of April 24, 2019

**ARCHITECTURAL COMMISSION
REGULAR MEETING MINUTES**
Wednesday, April 24, 2019 – 7 p.m.
City Council Chamber
225 W. Second Street, Claremont, California

CALL TO ORDER

Chair Schoeman called the meeting to order at 7:00 p.m.

ROLL CALL

PRESENT: COMMISSIONERS HORSLEY, MESSNER, NEIUBER, PERRY, SCHOEMAN, AND WORLEY

ABSENT: COMMISSIONER PERRI

ALSO PRESENT CHRIS VEIRS, PRINCIPAL PLANNER; LETICIA CARDOSO, SENIOR PLANNER; AND NHI ATIENZA, ADMINISTRATIVE ASSISTANT

CEREMONIAL MATTERS, PRESENTATIONS, AND ANNOUNCEMENTS

There were no ceremonial matters, presentations, or announcements

PUBLIC COMMENT

Chair Schoeman invited public comment. Seeing no requests to speak, public comment was closed.

CONSENT CALENDAR

1. Architectural Commission Meeting Minutes of March 27, 2019

Chair Schoeman invited public comment. Seeing no requests to speak, public comment was closed.

A written statement was submitted by Moni T. Law. Prior to the meeting, copies of the statement were placed on the dais for Commission review and on tables in the Council Chamber lobby for public viewing.

Commissioner Perry moved that the Architectural Commission Meeting Minutes of March 27, 2019, be approved as submitted; seconded by Commissioner Horsley; and, carried on a vote as follows:

AYES: COMMISSIONERS: HORSLEY, MESSNER, NEIUBER, PERRY, AND WORLEY
NOES: NONE

ABSTAIN: COMMISSIONER SCHOEMAN
ABSENT: COMMISSIONER PERRI

ADMINISTRATIVE ITEMS

There were no administrative items for discussion.

PUBLIC HEARING

2. Architectural and Site Plan Review #18-A12, Renovation of Rains Center, 220 E. Sixth Street. Applicant – Pomona College

Commissioner Horsley and Schoeman recused themselves from this item. Commissioner Perry will Chair the meeting.

Principal Planner Veirs presented a PowerPoint presentation and addressed Commissioners' questions regarding the terminus of the enfilade and tree disposition plan.

Bob Robinson from Pomona College introduced architect, Tim Stevens from SCB and Ben McCoy from EPT, landscape architect to provide more detail on the project.

After a short presentation, Tim Stevens deferred the bulk of his time to allow the landscape architect to speak in more detail about landscape plan.

The landscape architect addressed the following points:

- The new main entry porch to Rains Center serves as the focal point to draw people from Sixth Street and surrounding areas. The planting palette and two large preserved specimen oak trees creates a formal space.
- The north event space is designed for events but is used more specifically for recreational classes and as a "spill out" area for the Gym. The space is meant to be semi-enclosed/open space; therefore, the large concrete area works well.
- The intent of the landscape palette is to use large native shrubs like Coffeeberry, Western Red Bud, and Manzanita along the Sixth Street edge to create a less formal space and carrying into the Smiley Hall area.
- The palette in the southwest area will be larger groupings to create a formal expression towards Marston Quadrangle.
- The terminus of the east west enfilade is designed to be a small courtyard with benches and a large specimen oak tree that will serve as a visual terminus. The large oak tree is the perfect back drop for this area.

The Commissioners did not have any questions.

Vice Chair Perry invited public comment. Seeing no requests to speak, public comment was closed.

Commissioner Neiuber stated that it was a good plan in January and is still a good plan, it's good to see the landscaping and all the issues addressed, and the tree at the terminus is perfect.

Commissioner Messner commented on the great enhancements, she liked the airiness and glass features. She appreciated the applicant addressing the enfilade. It's a good project.

Commissioner Worley stated that this is a vast improvement over the current facility. The landscaping is appropriate. He applauds Pomona College for bettering their facilities.

Commissioner Perry commented that the architecture is well done and highly appropriate. The footprint reduction is a great gain for the pedestrian experience. The improvements in details will raise the building to the stature of the other buildings on campus. He had the following comments in regards to the landscaping:

- He applauded the preservation of the oak trees and can identify with the removal of certain trees due to health and safety issues.
- The Podocarpus is good to return to the east side along with one or two more trees to the alignment. This section will need scale and mass, which will take some time.
- He raised caution to the root impact on the north side sidewalk of Sixth Street for future planting.
- His research into the Mexican Sycamore has yielded good and extremely bad reviews. There have been great performances and catastrophic failures. This species was planted by the dozens 20-25 years ago at UC Irvine and he has not seen them recently. He advised the applicant to contact UC Irvine for more information.
- He finds the shrub planting to be inconsistent with the architectural character of the building and site. Although they have been selected to conserve water, however, the shrubs are randomly placed, dispersed, and disorganized. He noted that some of these areas could be sectioned off with geometric hedge clippings to create subdivision areas.
- In regards to the preservation of the Southern Magnolia Tree, it shows clear signs of decline, is inappropriate for Southern California climate, its suffered enough structural damage that no amount of water will save it, and will continue to decline in the drought tolerant area.

Commissioner Neiuber inquired if Principal Planner Veirs had worked with the applicant to resolve the staff concerns noted in the staff report regarding the demolition plan, revised materials for the eaves, and pedestrian lighting. Principal Planner Veirs had not but hoped that the Commissioners would weigh in on those issues.

Commissioner Perry noted that the northwest corner courtyard is extremely hot and bright during the mid-afternoon. It is a large paved area framed by a few large trees that will need more shade and climate mitigation in the future.

Principal Planner Veirs displayed the light fixture rendered next to Voelkel Gym to not be the standard campus light fixture. The final plans will incorporate the standard light fixture. The applicant noted that, that was a rendering error and that the standard campus fixture would be used.

Upon consideration of the review criteria, Commissioner Neiuber moved that the Architectural Commission adopt Resolution No. 2019-03 of the Architectural Commission of The City of Claremont file #18-A12, For The Proposed Renovation And Expansion of Rains Center For Sport And Recreation, Located At 220 E. Sixth Street on The Pomona College Campus. Applicant – Pomona College with the condition that the Applicant work with Staff to clarify the materials and construction detail of the eaves, to ensure the pedestrian lighting is consistent with campus light fixture, and to provide detailed demolition plans prior to issuance of permits; seconded by Commissioner Worley, and carried on a vote as follows:

AYES: COMMISSIONERS: MESSNER, NEIUBER, PERRY, AND WORLEY
NOES: NONE
ABSTAIN: COMMISSIONERS: HORSLEY AND SCHOEMAN
ABSENT: COMMISSIONER PERRI

This decision can be appealed within ten calendar days.

Commissioner Messner left the meeting at 7:51p.m.

Chair Schoeman and Commissioner Horsley returned to the dais.

3. Request for Extension of Time for Architectural and Site Plan Approval for the Colby Circle Townhomes (File #07-A08). Applicant – IntraCorp Homes

Senior Planner Cardoso presented a PowerPoint presentation and addressed Commissioners' questions regarding the: a) CEQA review and guidelines; b) parking structure timeline; c) finding for approval or denial; d) role of the Planning Commission; e) percentage of design change before revised plans are re-presented to the Architectural Commission; f) building height; g) criteria for extension; h) 2006 specific plan; i) time limit on design review; j) approval process compared to the project north of the Packing House; k) early approval of the multi-family (R3) designation on a project that is phased in; l) project timelines, delays, and improvements; and m) north of Colby two story townhomes.

Rick Puffer, Vice President of Development for IntraCorp Homes gave a brief history of the company. The company is very interested in the project and is very familiar with in-fill developments for adaptive us. They look forward to enhancing the community. They have developed over 180 projects since 1976 and see this project as a perfect fit due to the strong community, surrounding businesses, shopping, and supporting uses nearby. Their vision is to develop consistent with the specific plan in terms of architectural theme, scale, size, and unit count. Due to the project's relationship to the 30-unit condo

and commercial parking structure, which must be completed prior to start of construction on their project, the extension is needed. They have sunk costs into the project such as soil studies and civil engineer to keep pace with that project. The extension will allow them to continue to move forward, stay consistent with the specific plan, and carry forward the development.

Commissioner Perry questioned if IntraCorp is capable of proceeding in a timely manner. Mr. Puffer is confident that they are and spoke to the company's track record of previous projects. The entitlement and extension is meaningful as a prerequisite to potential lenders. They do have a lot of supporters to fund the project.

Commissioner Horsley questioned the marketability of the unit make-up as it was designed in 2007. Mr. Puffer stated that today's buyers are different and the livability is in the interior. The current buyers do not want to "live around a staircase" and prefer to live in a great room setting. He noted that IntraCorp can address this change in the project floor plans without varying significantly from the size, scale, and mass of the current approval.

Commissioner Neiuber questioned IntraCorp's confidence and involvement with the construction of the parking structure. Mr. Puffer responded that IntraCorp is not involved financially in the project, but is offering support for future approvals and is confident in the process.

Commissioner Schoeman questioned why the entitlements were not done within the 12-years of down time and stated that the project seems to have been neglected. Mr. Puffer responded that the market crash made it difficult or impossible to finance the project for several years. More recently, the market has created demand to complete the project. IntraCorp is now responding to that demand and has only recently become involved in the project.

Chair Schoeman invited public comment.

Suzanne Christian has been an owner of a unit in the Griswold townhome project since it was built. It was a planned development that was consistent with Griswold's Old School House. She expressed her concerns as follows:

- The new development's ecological report not being able to be changed if the changes are consistent with the specific plan.
- The traffic congestion with only one exit onto Indian Hill and the possible addition of the traffic light will add even more congestion.
- The trash trucks not being able to u-turn to exit the facility.
- The parking spaces between the units are not private, which means that anyone can park at these locations.
- The lack of space for congregation
- The bad air quality and police and fire protection.

She also requested for a new environmental report and for the Commission to decline the extension request.

Maurice LeBlanc is a resident of the Griswold townhomes. He commented on the increased need for housing and from that standpoint it is a good project. It would be a bonus if the project is consistent with surrounding environment. He suggested the developer consult with the Griswold's excellent Board should issues arise. He also stated that projects of this size should include a pool and/or tennis courts. This development lacks open space for congregation and kids to play.

Carl Herbold a resident of Via Zurita and retired attorney thanked Commissioner Perry and Schoeman for their attention and concern to the Colby Townhome extension in May of 2016. He expressed concerns over the potential problem of IntraCorp not being the owner of the property and not having written consent to represent Claremont Star in the process. He also urged the Commission that, if an extension is to be granted, that a new EIR be required to protect the community from changes in the environment, population, student housing, traffic, businesses, and business patronage.

Allan Wicker a resident of the Griswold complex since 1972 submitted written comment to be entered into record. He gave a brief history of the numerous public development meetings in regards to the specific plan. He commended Harry Wu on his efforts to engage the community in workshops and meetings when he purchased the Claremont Inn and Old School House in 2005. He encouraged the new developer to continue to engage the community and believes that the various commissions and City Council has provided the community ample opportunities to comment and provide suggestions on the specific plan. He cited that the new design is compatible with the Old School House, not outdated, classic, and is 25% less than the originally proposed design. He encouraged the Commission to review the submitted comment for ways to engage with the developer.

Marcia LaPierre inquired what would happen if the extension is denied. Commissioner Schoeman replied that the applicant would have to start from scratch. Ms. LaPierre replied that in that case they will need to do a new EIR and all the items on the list. She is not sure that the applicant has any standing because the owner is not involved. She believes that the main question should be if there was something that could have been done to avoid the delay for 12 years. She does not believe that the construction of the garage was always linked to the completion of the next phase; it could have been phased differently. Knowing that Harry Wu would not develop the Colby townhome, it should have been segregated. She feels that the City is being bamboozled to continue with the plans and believes that we should bring in a new applicant that can work efficiently and provide a new EIR to protect the community. She insists that we cannot impose plans from 12 years ago.

Marla Law Abralot received a letter stating that the family home's backyard would soon be someone's new front yard, with no setbacks, and an overlapping deck. This is inconsiderate to her father and his privacy. She and her sister, Moni request the commission to deny the extension request due to inadequate notification, no good cause, and that Claremont Star had plenty of time to move the project forward. She is asking the commission to protect the rights and privacy of the citizens of Claremont.

She believes in responsible development and thinks the Claremont should start over with a good plan. Ms. Abrolot submitted written comment to be entered into record.

Douglas Law moved back to the family home in the last 3 years to care for his parent and has not heard anything in regards to this project. He inquired if the City is in danger of any litigation if the 96 units are not granted. He feels that the citizens of Claremont have far better standing in the situation. He is interested in responsible planning. Half of the people that lived in Claremont in 2007 no longer live here, therefore we need to start over with updated information and a new EIR.

Moody Law expressed his doubts in regards to the direction that Harry Wu is taking us. We need to ask more questions, take more action, and do our homework. We have a great community and staff that can take us there.

Robert Wolf, a resident of Griswold expressed concerns over the tucked under garage. If the garage was to be lowered 2-3 feet underground, it would be tolerable to get the car in and out, but anything higher will not be feasible. A two-story house sitting on a 6-7 feet high garage is not a two story structure. He does not believe that this is accurately described by the applicant.

Resident stated that this is an outdated project and needs a new vision. The project lacks the Claremont standard for green space, which will not attract families. The school district enrollment is in decline and we should think about the impact of the project to bring more students and families to the community. He questioned if the CEQA was ever certified, if not, it is no longer valid. If the CEQA was certified and it has not been supplemented or subsequent studies done, it is also no longer certified.

Donna Lowe, a resident of Via Zurita provided clarification that the California standard for a three story structure is 30 feet and the proposed is 40 feet. In the past 12 years, many challenging projects have been completed within scope, like the Pitzer project. Claremont Star is the owner and IntraCorp does not have any standing. She is requesting the Commission to not approve the extension to pressure the developer to reconsider the proposal. 12 years has been ample time to complete the project.

Katherine Hauser Rubel stated her concerns during the 2016 extension: a) there were no members of the public present, b) approving something without recourse for mitigation for potential charges that may arise from the project phasing, c) the lack of green space in relation to drive way, and d) lack of confidence for the passing of the project. 12 years ago housing was built to support the surrounding businesses, as a result of this the traffic and ability to find parking is difficult. Do we really need more multi-story homes? The project needs to be accessible and compatible with the Colby Center project. Accessibility for families that can't climb stairs, green space for families, walkable areas, adequate parking spaces and compatibility with the surrounding environment while protecting the privacy of the community.

John Jerowitz stated that the plan is stale, things have changed, and so the plan will also need to be changed. The traffic from Trader Joes shopping center is dangerous.

A light will be required at the corner of Colby Circle and Indian Hill to accommodate the traffic during school hours. There needs to be housing, but something with lower density, green space, and accommodate the traffic from the Trader Joes shopping center.

Laurel Tucker is aware of the horrific traffic on Indian Hill in the mornings and afternoons. The project looks like a lot of the developments along Foothill Boulevard. They look like canyons pushed to the edges. She understands the need for housing but is not sure that this is the lot for it. She is hoping for something less dense, with more buffers along the north and west edges as to not impact the existing neighbors. She also noted that the project should be limited to the standard ceiling height of 8-9 feet.

Charlene Kruger spoke about a development next to an urban farm in Pomona and the developer's consideration to make adjustments for the survival of the farm. She suggested we do the same, looking to the neighbors on all sides of the development.

Carol Pager stated that the community was promised a stop light at the corner of Colby Circle and Indian Hill, noting that it is a dangerous corner. We need a new EIR, which will have our law enforcement agency and the fire evaluate what it means. The Griswold side gate is only open so many times during the year, fire will be able to access this better. In 2006/2007, we were told that the old hotel units would be refurbished, suddenly the new condos evolved. We received no notice. This is a change from the original agreement. I didn't even know about this meeting, if not for Suzanne Christian. We need help.

Seeing no additional requests to speak, Commission Schoeman closed public comment.

Principal Planner Veirs and Senior Planner Cardoso addressed speakers' questions as follows:

1. There is a notarized letter on file that authorizes the applicant (IntraCorp) to act on behalf of and represent the owner (Claremont Star).
2. There are multiple exits in and out of the project both ends of Colby as well as a new private street will add two additional access points.
3. The consideration for the traffic signal at Colby Circle and Indian Hill was originally scheduled to occur after construction of the project; however, staff intends to request that this study be performed earlier so that it can be done at the time the map is considered.
4. Residents will place rolling trash cans along Colby Circle for pickup. The trash truck will not need to access and back up in the driveways that access the units north of Colby Circle.
5. The City Attorney has determined on multiple occasions, that conditions necessary in order to require additional environmental review or an EIR for the project do not exist for the project as currently proposed.
6. If the commission lets the approval expire, the applicant will lose the entitlement for design, not the number of units or basic layout of the project.

7. The delays have been due to:
 - a. Three extensions were needed during the 2009 recession.
 - b. The development of the 30 units required additional time for design approval due to revisions made to that project.
 - c. Funding was not available to more than one phase of the Specific Plan at the same time.

Mr. Puffer appreciated the feedback and commended Harry Wu on his vision to carry this through. He noted that Harry had the option to push the project up to 128 units by using the state's density bonus law, but that he settled on 96 units in part as a compromise with neighbors. He noted that IntraCorp wants to work with the community to highlight the best qualities of the project. Stating that "We have stated our capabilities, background, and will work with due diligence moving forward and asked that the Commission consider approving the extension.

Commissioner Worley stated that this is a tough issue. The public had received notifications and Mr. Wu has shown good faith with the project. The Architectural Commission may have contributed to the delayed process with its three separate reviews regarding the 30 unit condo/parking structure project. He hoped that the plan would be revisited by the developer. He encouraged the developer to reach out to the HOA and neighbors to the west. He noted that the environmental questions had been previously considered and did not believe that reconsideration was within the Commission's purview at this time.

Commissioner Perry understands the Commission's purview and thinks it's narrow. He is frustrated that there is not a process moving forward or the means to get there. The Commission can only look at one criterion, the finding that the delay could not have been avoided. He is still thinking over the code.

Commissioner Neiuber thought the comments have been good, but it does not pertain to the Architectural Commission. The density of the project is decided upon by City Council and the Planning Commission and we do not give input into the EIR. The speaker is correct in that the plan is stale with inputs from 12 years ago. Based on the finding, Commissioner Neiuber agrees that the applicant meets the criterion for an extension due to the economic downturn and contingency upon the completion of the parking structure.

Commissioner Horsley sees a lot of architectural issues with the site plan, like the lack of amenity space. If an extension is granted, he is not sure that the developer will work with the community to address these issues. He does not have any problems with the architectural style. He is not 100% sure if the delay could not have been avoided. If the extension is not granted, we are still stuck with 96 units. He inquired if we can grant an extension with conditions.

Commissioner Schoeman inquired if the commission could continue the item to the next meeting.

Principal Planner Veirs replied that the application would expire before the Commission's next meeting, but noted that the Commission could approve a shorter extension term to allow time for minor changes to be developed and brought back to the Commission.

Commissioner Schoeman requested to review the required finding for approval and expressed his concerns to build to meet the needs of the community now, not 12 years ago. We need to provide affordable housing for families and keep Claremont a sustainable community. He didn't approve this two years ago and cannot approve it again. There has been little work done on this project. 12 years is a long time. We need a second look.

Commissioner Neiuber asked for clarification of code 16.300.090B. Principal Planner Veirs read the "Extension of Time" section. Commissioner Neiuber then requested additional clarification from the City attorney before a decision can be made. He suggested the Commission approve a 60-day extension to allow time for clarification. He also suggested that, if an extension is granted, it will need to have conditions.

Commissioner Perry agreed with Commissioner Neiuber on the finding for the extension. At this time, he would approve the extension with the flexibility that the developer be flexible and responsive to the community.

Commissioner Schoeman questioned if the approval rested on merit, would you approve the extension.

Commissioner Perry replied that it would need to be reinvented.

Commissioner Worley stated that the Commission created the delay and that Commissioner Schoeman is responding as a Planning Commissioner. This is not our purview.

Commissioner Schoeman commented that the Commission is not able to make a decision due to differing interpretations.

Principal Planner Veirs clarified that the Commission just needs to make the one finding and that the Commission has the complete discretion to either do so – or not.

Commissioner Neiuber suggested the need for additional legal advice.

Commissioner Horsley inquired if we can approve the extension with the condition of requiring future review or community engagement.

Principal Planner Veirs suggested approving a shorter term without attaching additional conditions as he did not believe the code granted authority to impose additional conditions when considering extensions.

Commissioner Worley suggested making a motion to extend approval for 90-days to allow time for additional legal advice.

Upon consideration of the review criteria, Commissioner Neiuber moved that the Architectural Commission adopt Resolution No. 2019-04 of the Architectural Commission of The City of Claremont file #07-A08, For The Request for Extension of Time for Architectural and Site Plan Approval for the Colby Circle Townhomes. Applicant – IntraCorp Homes for 90 days to allow time for staff to provide additional legal clarification on the City code regarding the granting of time extensions and to determine if the Commission is able to attach additional conditions of approval as part of the granting of a time extension; seconded by Commissioner Horsley, and carried on a vote as follows:

Commissioner Schoeman stated that this is well within our purview. The Planning Commission makes decisions and we are left with it. We have a responsibility to shape the environment. The short extension will give us time to make the right decision. He inquired if staff had any comments before the Commission voted. Staff did not have any comments.

AYES: COMMISSIONERS: HORSLEY, NEIUBER, PERRY, SCHOEMAN, AND WORLEY
NOES: NONE
ABSTAIN: NONE
ABSENT: COMMISSIONERS: PERRI AND MESSNER

This decision can be appealed within ten calendar days.

REPORTS

Commission

Mayor/Chair Meeting

None

Commissioner Comments

None

Staff

Briefing on Council Meetings

Principal Planner Veirs reported on items of interest from the previous night's City Council meeting.

Briefings on Other Items

There was no report.

Upcoming Agendas and Events

Principal Planner Veirs commented on what items will be coming before the Commission at the May 15, 2019 meeting.

ADJOURNMENT

Chair Schoeman adjourned the meeting at 10:43 p.m.

Chair

ATTEST:

Administrative Assistant



Claremont City Council

Agenda Report

File #: 2933

Item No: 2.

TO: ARCHITECTURAL COMMISSION

FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR

DATE: JUNE 12, 2019

Reviewed by:
Finance Director: N/A

SUBJECT:

ARCHITECTURAL AND SITE PLAN REVIEW #19-A01, REVIEW OF PROPOSED FIRST AND SECOND STORY ADDITIONS TO THE REAR OF THE EXISTING HISTORIC RESIDENCE, NEW ACCESSORY DWELLING UNIT, AND NEW DETACHED GARAGE LOCATED AT 1011 HARVARD AVENUE. Applicant - WHEELER & WHEELER ARCHITECTS

Summary

The applicant, Wheeler & Wheeler Architects has proposed first- and second-story additions to the rear of the existing historic residence located within the Historic Claremont zoning district at the above-referenced address. The proposal includes the demolition of portions of the rear of the home, which are not original to the 1905 residence, and their replacement with first- and second-story additions. The proposed project would increase the floor area of the home's first floor by 306-square feet and floor area of the home's second floor by 407-square feet. The building footprint of the proposed additions will only be slightly larger than the footprint of the non-historic portions of the home that are proposed to be removed, resulting in a building form and mass that is consistent with what currently exists. The proposed addition has been carefully designed to be highly consistent with the architectural character of the historic home. The design includes finishes and architectural details that match those found on the existing building.

The applicant has also proposed constructing a new 848-square foot accessory dwelling unit (ADU)/pool house near the southwest corner of the large property. The design of the proposed ADU is consistent with that of the primary residence, however, it features a more steeply pitched roof to allow space for a sleeping/storage loft. In addition, the applicant has proposed constructing a new detached two-car garage near the northwest corner of the property. The new garage would be accessed from the alley that abuts the northern property line of the subject property. Finally, the applicant has proposed new fencing and landscaping for the home's street-side yard areas, as well as new fencing along the alley abutting the northern property line.

Staff finds that the proposed additions are well-designed and appropriate for the prominent historic residence. Additionally, staff finds the two proposed accessory structures to be appropriately designed and sited in a manner that does not detract from the primary residence.

RECOMMENDATION

Staff recommends that the Architectural Commission adopt A RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF CLAREMONT APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #19-A01, REVIEW OF PROPOSED FIRST AND SECOND STORY ADDITIONS TO THE REAR OF THE EXISTING HISTORIC RESIDENCE, NEW ACCESSORY DWELLING UNIT, AND NEW DETACHED GARAGE LOCATED AT 1011 HARVARD AVENUE. APPLICANT - WHEELER & WHEELER ARCHITECTS

Alternatives to the Recommendation

In addition to the recommendation, there are the following alternatives:

- A. Continue the item for additional information.
- B. Approve the project with additional or revised Conditions of Approval.
- C. Express intent to deny the proposal, specifically identifying the review criteria of Section 16.300.060.A of the Municipal Code that cannot be met and continue the item to June 26, 2019, for adoption of a denial resolution as all the necessary findings cannot be met.

Background

The subject property is located in the Historic Claremont (HC) zoning district and features a General Plan Land Use Designation of Residential 6. The Claremont Municipal Code (CMC) calls for the preservation of the variety of building styles present in the HC zoning district, the existing scale and density of the neighborhood's structures, and its attractive streetscapes.

The subject property is located at the northwest corner of the intersection of Tenth Street and Harvard Avenue, and occupies the entire area between Tenth Street and the mid-block alley to the north. The property consists of three contiguous parcels, which have never been formally merged despite being utilized as a single property since the home was originally constructed. An application for the voluntary merger of these three parcels is being processed by City staff as a condition of this application. The subject property is almost square in shape with a lot depth of 140 feet and a lot width of 152 feet resulting in a total lot area of 21,280-square feet. The large property anchors the block on which it is located and features a large American Foursquare home built in 1905; early in Claremont's history. The home was built for C.C. Johnson on a 40-acre plot that encompassed the area between Tenth Street and Foothill Boulevard, and Indian Hill Boulevard and a line half-way between Harvard and College Avenues to the east. The 40-acre plot was subdivided to become the "C.C. Johnson addition to Claremont" noted in the legal descriptions of the subject property and those around it. Much later, the home's façade was prominently featured as Maude's home in the popular 1970's sitcom "Maude."

As one of the City's oldest residential structures, the property is listed on the Register of Structures of Historic and Architectural Merit of the City of Claremont (Register). The Historic Resources Inventory sheet for the property (Attachment E) describes the home as "complex" noting its hipped roof with

exposed rafters and wide eave overhangs, smooth painted wood siding, stone foundation, and first and second story porches with fluted pillars and distinctive relief carvings on their pediments. The Register also notes the existing multi-light window for the home's living room near its southeast corner. These character-defining features are intact and are highly visible, allowing the home to continue conveying its historic significance at this prominent residential corner in the heart of Claremont.

The rear of the home features a 1970s porch conversion and addition that lack the architectural quality and interest of the original portions of the home. The rear addition includes an inconsistent variety of window and door types that are incompatible with the front portions of the historic home. Pictures of the rear addition (both first and second story) are provided on Sheet T1.1 of the submitted plans (Attachment B).

No covered parking currently exists at the property; there is an existing curb cut along Harvard Avenue that provides access to a driveway that extends along the north side of the home. An abandoned curb cut is located at the property's Tenth Street frontage. Until recently, the property was covered with heavy vegetation that was since been cleared by the current property owners, who purchased the site in early 2019. Seven large, mature trees, including two Coast Live Oak trees exist at the site.

Project Description

The proposed project includes demolition of the rear portion of the home and the construction of both first- and second-story additions that would slightly enlarge the overall building footprint. Additionally, the applicant has proposed two new accessory structures. The first, an accessory dwelling unit/pool house (currently referred to as an Accessory Second Unit in the CMC) near the southwest corner of the property. The second, a detached two-car garage located near the northwest corner of the property. The applicant has also proposed new fencing for around portions of the property to better secure the property and provide privacy for the rear and side yards. All proposed six-foot tall wood fencing complies with setback requirements. A low, three-foot tall concrete post, and wood rail combo fence is proposed to be constructed along portions of the Harvard Avenue sidewalk and the first 20 feet of the Tenth Street sidewalk to provide visual interest and partially enclose the front yard of the home. New landscaping is proposed for the front yard area enclosed by this new rail fence.

Primary residence

The first- and second-story additions are proposed to be located at the rear of the home where the incompatible 1970's addition is currently located. In demolishing the two-story rear portions of the home and constructing the proposed addition, the resulting building footprint and building mass would be slightly larger than that which currently exists. The existing home has a total square footage of 3,259-square feet, with 1,902-square feet on the first floor (including the front porch) and 1,357-square feet on the second floor (including the second story balcony at the front of the home). The applicant has proposed demolishing 577-square feet of existing first floor area, comprised of a playroom, office, and bathroom; and 200-square feet of existing second floor area, comprised of a dressing room and two bathrooms.

The addition would increase the home's overall floor area by 713-square feet, resulting in a proposed square footage of 3,972-square feet. On the first floor, much of the addition would serve as a large "Great Room", along with an enlarged and remodeled kitchen and bathroom. On the second floor, the project proposes to enlarge the two rear bedrooms, add a walk-in closet, and add a third

bathroom. The Footprint Diagram on Sheet A5.0 of the submitted plans shows the existing building footprint over the new proposed building footprint, demonstrating the extent to which the building footprint will be enlarged. Overall, the proposed first- and second-story additions result in a similar building footprint and massing to the existing home. The proposed modest increase in overall building mass is most evident at the second story where the two existing bedrooms are proposed to be enlarged.

The submitted elevations show the proposed exterior appearance of the building in detail. Overall, the proposed addition is designed to match exterior features found on the original building, making the addition more consistent with the building's historic appearance than the 1970's porch conversion. The east elevation shows how the front of the home would remain relatively unchanged, save for the addition of the kitchen pop-out on the north side of the structure. On the north elevation, the applicant has proposed replacing an existing window with a new multi-light window array near the northeast corner of the building to match the one found on the southeast corner of the building. While the original multi-light window array on the south side of the building projects out two feet, the new window proposed for the north elevation of the dining room would be flush with the existing exterior wall of the structure. A new three-foot pop-out would then be created for the enlarged kitchen. To the west of the new kitchen, the applicant has proposed a small covered landing and a set of four French doors providing daylight and access to the great room from the north.

The small porch proposed for the north west corner of building would be set under a small hipped roof that would project from the building. This new roof component is most clearly shown on the First Floor Roof Plan on Sheet A2.2. The second-story of the proposed north elevation includes the existing double-hung window near the northeast corner of the building, two new small wooden slider windows serving two second-floor bathrooms, and two new wooden double-hung windows, matching existing windows found on the home. The applicant has provided a detailed window and door schedule for all the home's existing and proposed doors and windows on Sheet A6.0.

The proposed west (or rear) elevation, is dominated by a large multi-light window array oriented centrally on the first floor that provides views from the great room into the back yard. The multi-light window array would pop out two feet from the rear of the building and would be flanked by two new single-hung wood windows. The second story of the west elevation features a similarly balanced design with windows providing light into the enlarged second story bedrooms, one of which is a new double-hung window matching the other, which is proposed to be salvaged from the existing building and reused. The center of the second-story portion of the addition, where the new walk-in closet is located, is set in, providing articulation and visual interest. The porch column at the northwest corner of the property has been designed to mimic the design of the existing fluted columns at the front of the house.

The proposed south elevation retains the existing multi-light window array that projects out two-feet from the southern building facade. This pop-out is then expanded to the west to accommodate a new bathroom, for which a small-single-hung, wood window would provide light. The applicant has proposed a new door providing access to the great room adjacent to the new bathroom pop-out. No windows have been proposed for the westernmost side of the south elevation, where the great room is located. This will provide the property owners with privacy along this street-facing elevation, protection from the sun, and wall space for media in an otherwise open room. Claremont Heritage, which provided a letter of support noting many of the project's merits (Attachment D), indicated some concern regarding this relatively blank portion of the south elevation.

The roof of the addition is designed to match and extend the existing roof to the west with the enlargement of the second story. The new roof would feature the same change in slope near its eaves featured on the existing roof along with a matching fascia and matching exposed rafter tails. The proposed first-floor roof that wraps the north, west, and south sides of the building also features matching rafter and fascia details and the slight “kick” found on the existing roof. Employing the same approach to match the addition’s details to those found on the historic structure, the project proposes carrying the raised stone foundation around to all sides of the addition, and incorporating the same wood trim to provide a seamless transition from the river rock foundation to the wood siding above it. Dimensioned architectural sketches of the foundation, transition and siding, as well as the porch columns, are provided as Attachment C.

Accessory Structures

Two accessory structures are proposed to be added as part of the project, a 550-square foot two-car garage and an 848-square foot accessory dwelling unit (ADU), which can provide for independent living given that it has a bathroom, kitchen, and sleeping quarters. The ADU is labelled “Pool House” on the submitted plans. The two-car garage is proposed to be located near the northwest corner of the property, five-feet away from the northern and western property lines, in compliance with the applicable setback requirements, and would be accessible from the alley that abuts the northern property line. The ADU is also proposed to be located five-feet away from the western property line but would be set 15-feet away from the southern property line, in compliance with the street-side setback requirement.

The detached garage would provide the two required covered parking spaces that the property currently lacks. For residential properties with non-conforming parking, CMC Section 16.400.040.A.3, that the two required covered parking spaces be provided when a project seeks to add a total floor area (primary residence and accessory structures combined) in excess of 25-percent of the existing livable area, or 1000-square feet, whichever is less. Because the project proposes adding the 848-square foot ADU, in addition to adding 713-square feet to the primary residence, covered parking is required to be provided. At 550-square feet, the size of the structure complies with the maximum size requirement of 700-square feet for accessory structures that provide required parking, per CMC Section 16.133.010.F.

The design of the two-car garage emulates that of a carriage house with its east-facing, bi-folding wood garage doors with glass windows. The proposed garage has a fully-hipped roof with the same roof pitch (and change-in-pitch at its eaves) as that of the main house. A smaller, south facing gable with a decorative grille projects from the detached garage’s southern roof slope and would be located over a set of French doors with side lights. The proposed garage would feature the same wood siding as that found on the main residence. It is also proposed to feature natural river rock wainscoting with a height of 2’-6” wrapping all but the west side of the garage. The garage reaches a maximum height of 12’-0” as measured between the roof’s ridge and its eaves.

The design of the proposed ADU/pool house is more of a departure from that of the primary residence, but still ties into its design by incorporating details and finishes found on the primary residence. The steeper pitch of the ADU’s roof is the most significant departure from the existing historic residence. The ADU’s roof features two gables oriented in a perpendicular manner. Where the existing home’s residence is 7.5:12 (with a change in slope to 4:12 at the eaves), the ADU’s primary north/south gable has a 14:12 slope, while the secondary east/west gable has a 12:8 slope. The more vertical ADU structure reaches a maximum height of 21’-3” as measured to the peak of the

roof's ridge. When its height is measured from the midpoint between the roof's ridge and its eaves, it reaches a height of 14'-10", in compliance with the maximum height limit of 15-feet for accessory structures in the City's residential zoning districts. The size of the ADU's building footprint is 623.5-square feet, but it features a loft area of 223.4-square feet, which is accommodated by the structure's steep roof. The ADU's total floor area, including the loft, is just under 848-square feet.

Without a new City ordinance in place to regulate the design and development of ADUs, ADU proposals are subject to State requirements that allow a detached ADU up to 1,200-square feet on all of the City's residential properties unless findings pertaining to fire, life and safety can be made to warrant the denial of the ADU proposal. In the case of the proposed ADU/pool house, the applicant has designed it in a manner that is consistent with the regulations included in the City's draft ADU ordinance, which has been moving through the City's review process. As currently proposed, the draft ordinance would allow for an ADU up to 850-square feet, and/or an ADU up to two stories in height with approval by the Architectural Commission under a discretionary review process.

The primary entrance to the ADU is oriented northward, toward the interior of the site. It is proposed to feature wooden doors with large glass panels, side lights, and transom windows above. The applicant has proposed an ornamental pediment detail similar to the one found on the home's Harvard Avenue-facing first and second story, porch gables. The same river rock wainscoting proposed for the garage is applied around the base of the ADU on all but the western elevation closest to the property line. The river rock motif is carried through the portion of the ADU where the primary entrance is located, extended up to the eaves on the north, west and east sides of the northern most wing of the T-shaped ADU. The east- and west-facing gables of the ADU feature the same triangle-shaped gable vents as the one proposed for the detached garage. The south street-facing elevation of the ADU features a large fixed window with two casements on either side of it. A paired set of casement windows are located above it to provide light and air to the loft area inside the ADU.

Fencing and Landscaping

Currently, the side- and rear-yard areas of the property are not enclosed, notwithstanding a row of hedges at the back of sidewalk along the property's Tenth Street frontage. In order to better secure the property the applicant has proposed six-foot tall wooden fencing along the northern property line and portions of the property's Harvard Avenue frontage, 20-feet away from the front property line. Given that the front of the existing home is setback 37'-4" from the front property line, the six-foot tall wood fencing along the Harvard Avenue frontage turns eastwards approximately 13-feet away from the northeast and southeast corners of the home allowing the front of the home to be visible from the public right-of-way. The proposed fence would feature a board and batten wood paneling wood posts. A 14-foot wide mechanical automatic sliding gate would provide access to the detached garage from the alley and would feature the same board and batten design. The applicant has also proposed a low three-foot tall post and wood rail combo fence to provide a visual and physical barrier between the sidewalk and the property extending along portions of the street front property lines, wrapping around the northeast and southeast corners of the property. Concrete posts with applied natural river rock would be spaced approximately 10-feet apart, with a square wooden rail traversing the span between them. Details of the six-foot tall wooden fencing and three foot tall combo wall are provided on Sheet A5.0.

The existing drive approach from Harvard Avenue would be maintained and the existing narrow asphalt driveway would be replaced with flagstone pavers, providing some auxiliary parking independent of the new detached garage. The 20-foot front setback area would be enhanced with

landscaping consisting of a variety of small trees and shrubs. A planting plan has been provided on sheet L1.0 of the submitted drawings. Staff feels that the proposed planting plan for the front setback area is overly formal and that it could benefit from the incorporation of more native plant species. Staff had little time to provide feedback on the front setback landscaping and welcomes the Commission's input on how it could be revised to better serve the streetscape.

Basis for Recommendation

Overall, staff is supportive of the proposed project, finding that it satisfies all of the architectural design review criteria in CMC Section 16.300.060.A. Staff finds the additions to the primary residence to be appropriate for the notable historic residential structure, representing an improvement over the existing inappropriate rear addition. While the proposed project enlarges the size of the already large home, it does so in a manner that results in an appropriate building footprint and building mass. The applicant has done well to carry over the home's key historic architectural features, such as its windows and window details, roof and eaves, wood siding, river rock foundation and trim, and porch columns. Staff finds the two new accessory structures to have architectural designs that relate appropriately to the primary residence, even as the ADU/pool house features a roof design that departs from the primary residence's historic character. Additionally, they are sited in a manner that does not detract from the primary residence's ability to continue conveying its historic significance and architectural character. Claremont Heritage has also lent the project its support, as explained in their letter, provided here as Attachment D. With minor concerns about the front-yard landscaping, staff recommends the Architectural Commission approve the proposed project.

CEQA REVIEW

The proposal is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15301(e), in that the project consists of an addition to an existing structure that will not result in an increase of more than 10,000 square feet in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and one that is not environmentally sensitive. While the home is historic, having been built in 1905, and is listed on The Register of Structures of Historic and Architectural Merit of the City of Claremont, the exception pertaining to historic resources does not apply in this case as the proposed work would not result in a substantial adverse change to this historic nature of the residence. The proposed project would not diminish the ability of the structure to continue to convey the existing structure's historic character, as the proposed project would remove non-historic additions to the rear of the home done in the 1970's, replacing them with a historically appropriate addition while also leaving the home's front façade unaltered. Overall the proposed changes to the home are appropriate for and consistent with the home's historic appearance. Further, the siting of the new proposed accessory structures does not have the potential to diminish the primary residence's ability to continue conveying its architectural and historic significance. With the support of local historic preservation group Claremont Heritage, who note that the project is consistent with the Secretary of Interior Standards for Rehabilitation of Historic Structures, it can be concluded with certainty that the exception pertaining to historic resources does not apply. Therefore, no further environmental review is necessary.

PUBLIC NOTICE PROCESS

This item has been noticed through the regular agenda notification process. Copies of the submitted plans are being held at the Public Counter at City Hall for review.

As a courtesy, notice of this meeting was mailed to properties in the 200-foot radius of the subject property on May 30, 2019. A copy of this report has been sent to the applicant, the project architect, and other interested parties.

Submitted by:

Brad Johnson
Director of Community Development

Reviewed by:

Christopher Veirs
Principal Planner

Nikola Hlady
Associate Planner

Attachments:

- A - Draft Resolution
- B - Site Plan and Elevations
- C - Detailed Architectural Sketches - Foundation, Siding, Columns
- D - Claremont Heritage Letter
- E - Historic Resources Form - 1011 Harvard Avenue

ARCHITECTURAL COMMISSION RESOLUTION NO. 2019-__

A RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF CLAREMONT APPROVING ARCHITECTURAL AND SITE PLAN REVIEW #19-A01, REVIEW OF PROPOSED FIRST AND SECOND STORY ADDITIONS TO THE REAR OF THE EXISTING HISTORIC RESIDENCE, NEW ACCESSORY DWELLING UNIT, AND NEW DETACHED GARAGE, LOCATED AT 1011 HARVARD AVENUE. APPLICANT - WHEELER & WHEELER ARCHITECTS

WHEREAS, on February 12, 2019, the applicant filed a request to demolish 777-square feet of existing livable area at the rear of the existing historic residence located at the subject property and construct first- and second-story additions totaling 1,490-square feet, increasing the overall size of the home by 713-square feet, to construct a 550-square foot detached garage, and to construct an 848-square foot Accessory Dwelling Unit (ADU)/pool house, along with new fencing at the subject property; and

WHEREAS, on February 12, 2019, the applicant filed an application for an Accessory Second Unit Permit (#19-ASUP02) to permit the proposed ADU/pool house, as well as an application for a Voluntary Merger of the three contiguous lots that comprise the subject site (#19-VM01); and

WHEREAS, the subject property was constructed in 1905 and is listed on the Claremont Register of Structures of Historical and Architectural Merit; and

WHEREAS, on May 30, 2019, a notice of public hearing regarding the Architectural Commission review of the design of the proposed addition was mailed to surrounding property owners and residents in the 200-foot radius of the subject site; and

WHEREAS, the Architectural Commission held a public hearing on June 12, 2019, at which time all persons wishing to testify in connection with the revised proposal were heard and said proposal was fully studied.

NOW, THEREFORE, THE CLAREMONT ARCHITECTURAL COMMISSION DOES HEREBY RESOLVE:

Section A. The Architectural Commission has determined that the proposal is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15301(e), in that the project consists of an addition to an existing structure that will not result in an increase of more than 10,000 square feet in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and one that is not environmentally sensitive. While the home is historic, having been built in 1905, and is listed on The Register of Structures of Historic and Architectural Merit of the City of Claremont, the exception pertaining to historic resources does not apply in this case as the proposed work would not result in a substantial adverse change to this historic nature of the residence. The proposed project would not diminish the ability of the structure to continue to convey the existing structure's historic character, as the proposed project would remove non-historic additions to the rear of the home done in the 1970's, replacing them with a historically appropriate addition while also leaving the home's front façade unaltered. Overall the proposed changes to the home are appropriate for and consistent with the home's historic appearance. Further, the siting of the new proposed accessory structures does not have the potential to

diminish the primary residence's ability to continue conveying its architectural and historic significance. With the support of local historic preservation group Claremont Heritage, who note that the project is consistent with the Secretary of Interior Standards for Rehabilitation of Historic Structures, it can be concluded with certainty that the exception pertaining to historic resources does not apply. Therefore, no further environmental review is necessary.

Section B. The Architectural Commission finds that the review criteria of Section 16.300.060.A of the Claremont Municipal Code can be met in regard to the above-described project as follows:

1. **Conformity with Development Standards** - The proposed addition is in conformity with all development standards for the Historic Claremont (HC) zoning district as follows:
 - a. **Setbacks:** The proposed project will meet all setback requirements as follows:
 - i. **Front Setback:** The existing home complies with the front setback requirement of 20-feet and the proposed addition will not alter the front setback in any way. New six-foot tall fencing would be located 20-feet away from the front (Harvard Avenue) property line.
 - ii. **Side Setbacks:** Located near the center of the property, the primary residence complies with side setback requirements. The two-car garage would be located five-feet away from the northern property line, while the ADU/pool house would be located 15-feet away from the southern property line, in compliance with street-side setback requirements.
 - iii. **Rear Setback:** The two proposed accessory structures both have a five-foot setback from the rear property line in compliance with the rear with the rear setback requirement in the HC zone.
 - b. **Lot Coverage:** The proposed lot coverage of 15.9% or 3,381.5square feet complies with the maximum permitted lot coverage of 35% in the HC zoning district.
 - c. **Floor Area:** The proposed total floor area of 3,972-square square feet for the primary residence is under the maximum permitted floor area of 4,688-square feet for the subject property.
 - d. **Parking:** The new detached two-car garage provides the Code-require two covered parking spaces for the residence.
 - e. **Building Height:** The existing height of the primary residence is 22'-5", as measured from grade to the midpoint between the roof's eaves and its ridge, in compliance with the 25-foot height limit for single-family dwellings. The project does not increase the height of the primary residence. The height of the proposed ADU/pool house is 14'-10" as measured from grade to the midpoint between the roof's eaves and its ridge, in compliance with 15-foot height requirement for accessory structures. The height of the proposed detached garage is 12-feet from grade to the midpoint between the roof's eaves and its ridge

2. **General Plan Consistency** - The proposed project supports the following goals/policies of the Claremont General Plan:
 - a. *Promote neighborhood identity and conservation of individual neighborhood character (Policy 2-2.2);* in that the proposed additions are built to be consistent with the unique historic character of the existing residence on the property, as well as the character of the Harvard Avenue streetscape and Historic Claremont neighborhood as a whole. The proposed additions are consistent with surrounding structures in terms of both design and scale, employ high quality materials that match those found on the existing structure and have an appearance that contributes to its context. Furthermore, the proposed project would result in the removal in architecturally inconsistent 1970s additions found at the rear of the home and would replace them with a new addition that is appropriate for the historic structure in terms of architectural details, finishes and overall building footprint and mass. The proposed accessory structures are also well-designed and appropriately sited to be compatible with the historic property and to be able to contribute to Historic Claremont's neighborhood identity and character.
 - b. *Require that new construction, additions, renovations, and infill developments be sensitive to neighborhood context and building forms and scale, (Policy 2-11.3);* in that the proposed project allows the existing residential structure to continue conveying its historic significance while adding floor area desired by the homeowners and also removing inappropriate existing additions. While the proposed project increases the floor area of both floors of the residence, it does so in a manner that results in a building mass and footprint that is appropriate for the historic structure. The additions utilize the same architectural style, details, and materials as the existing structure to strengthen the historic context of the neighborhood. Additionally, the new accessory structures feature an architectural design and are located on the property in a manner that will not disrupt the Historic Claremont neighborhood context. In terms of their sizes, they are in keeping with other accessory structures, and residences, in the vicinity of the subject site.
 - c. *Continue to encourage pride in the quality and character of historic areas. (Policy 2-14.3);* in that the additions to the historic structure employ a practical yet creative design and employ high-quality materials that are consistent with both the quality and character of the subject property and the Historic Claremont neighborhood as a whole. While the proposed ADU/pool house features a design that is a slight departure from the rest of the architecture on the site, with its more steeply pitched roof, it too features a level of architectural quality that is consistent with that of the historic neighborhood in which it is located.
3. **Compatibility of Form with Surrounding Development** – The proposed first- and second-story additions will not unduly interfere, nor visually dominate the existing development pattern of the surrounding Historic Claremont area, which features a mix of single-story and two-story residential structures. The proposed additions to the rear of the home replace architecturally incompatible additions, enhancing the home's compatibility of form with surrounding properties in the Historic Claremont zoning district without resulting in a building mass or footprint incompatible with the historic neighborhood. The two proposed accessory structure are compatible in

terms of size and in terms of architectural design with development on the subject property, and with surrounding properties, many of which feature detached accessory structures.

4. **Compatibility of Quality with Surrounding Development** – The proposed project features a well-considered design that employs high-quality materials that reflect the notable historic character of the subject property and broader Historic Claremont district. The proposed additions salvage and re-use existing historic wood windows found on the home where feasible and use custom wood windows that match the existing historic windows for all new windows. Other features of the proposed additions that match the historic residence include the proposed roof, wood siding, river rock foundation and trim, and porch column. In addition, the proposed accessory structures feature the same historic architectural details such as the wood siding, river rock base, ornamental pediment detail (on the ADU/pool house) and roof design and pitch (on the detached garage). Moreover, the additions to the rear of the primary residence will replace an architecturally inappropriate porch conversion and addition, making the existing historic residence more compatible in terms of quality with surrounding development in the HC district.
5. **Internal Consistency of Design** – All building elevations of the proposed project are architecturally treated in a consistent manner and incorporate key design elements present on the home's existing facades. In addition, the proposed accessory structures feature architectural designs that tie into that of historic primary residence by employing matching siding, window designs, river rock details, and roof designs. The proposed additions to the rear of the residence would replace a 1970s porch conversion and addition that lacks the level of architectural quality that exists at the front portions enhancing the design integrity of the home by carrying the key architectural features around to all four sides of the home. This is appropriate, given the home's prominent corner location that is also adjacent to a public alley, where almost all sides of the building are visible to the public.
6. **Privacy** – The proposed additions to the existing two-story home result in a building footprint and form as what currently exists, and as such, do not introduce new privacy impacts to surrounding neighbors. Furthermore, the primary residence is located near the center of the large property, far away from neighboring residences to the north and the west. The two accessory structures, which are located closer to the rear property line, are designed to avoid privacy impacts to the adjacent property. The detached garage has no openings along its western elevation, while the ADU/pool house has only one window, which provides light to a bathroom, on its western elevation. Thus, the proposed project respects the privacy of adjacent residential properties in an appropriate manner.
7. **Internal Circulation** - The site plan and design of the proposed development provides for adequate and safe vehicular, pedestrian, and bicycle circulation throughout the large property. The proposed project provides the Code-required two covered parking spaces in the detached garage near the northwest corner of the property. Ample room for vehicular access to the garage from the adjacent alley to the north is provided, as well as some auxiliary parking that makes use of the existing curb cut and driveway at the property's Harvard Avenue frontage. The large rear- and side-yard areas of the property provide ample room to pedestrian circulation between the primary residence and the two proposed accessory structure.

8. **Sustainability** - The proposed addition is energy and water efficient as it will be required to meet all applicable sustainability codes and guidelines adopted by the City and the State's green building code. Additionally, by retaining much of the existing historic structure, the proposal would preserve the embodied energy of the existing structure, precluding the need to use new materials for at least a portion of the project.
9. **Tree Preservation** – The proposed development is designed to preserve and/or retain on-site significant mature trees to the greatest extent possible. As noted in the staff report, the property owners cleared the site of overgrown vegetation, maintaining seven mature on-site trees, including two large Coast Live Oak trees. One large Ash tree located near the southwest corner of the property, where the ADU/pool house is proposed to be located is proposed to be removed given that a portion of its root zone interferes with the proposed location of the accessory structure.
10. **Light and Air** – The proposed development will not unreasonably impinge on neighbors' existing access to light or use of prevailing winds for natural ventilation or cast a shadow over an existing solar energy system. The existing two-story structure will not be enlarged in a way that limits the light or air flow to adjacent properties. The proposed accessory structures are both one-story in height and are not anticipated to impinge on neighbors' access to light and air either.
11. **Environmental Protections** - The proposed development has been reviewed pursuant to the requirements of the California Environmental Quality Act (CEQA), for the reasons stated above in Section A.
12. **Health and Safety** - The visual effect of the development from view from adjacent public streets will not be detrimental to the public interest, health, safety, convenience, or welfare. It features a design that is consistent with the existing historic structure and employs high-quality materials, meets all development standards and has been designed to harmonize with adjacent buildings and the surrounding historic streetscape. Similarly, the two accessory structures feature quality architectural designs that are consistent with and appropriate for the surrounding neighborhood context and the historic subject property itself. As such, the development does not have the potential to be detrimental to the public interest, health, safety, convenience, or welfare.

Section C. The Architectural Commission hereby approves Architectural and Site Plan Review #19-A01 based on the review criteria as outlined in Sections A and B above, subject to the following conditions of approval:

1. This approval is for the site plan, floor plans, and elevations for:
 - a. The demolition of portions of the rear of the home and the construction of first- and second-story additions having a total of 713-square feet
 - b. A new detached garage having a total of 550-square feet
 - c. A new accessory second unit/pool house having a total of 848-square feet
 - d. A new six-foot tall wooden fence
 - e. A new three-foot tall rock column and wood rail combo fence
 - f. New landscaping pursuant to Condition 3.h

As depicted on the approved plans on file with the Planning Division.

2. This approval is valid for two years from the date of Architectural Commission action. If building permits are not issued, or a time extension has not been granted during this time frame, this approval shall automatically expire without further action by the City. The Director of Community Development is authorized to grant a one-year extension upon written request from the applicant that there were unavoidable delays.
3. Prior to the issuance of building permits, the applicant shall:
 - a. Ascertain and comply with all requirements of the City's Building Division, including the submittal of complete architectural, electrical, mechanical, and structural plans duly wet stamped and signed by a licensed architect or engineer.
 - b. Ensure construction documents submitted for plan check shall be in substantial conformance with the Architectural Commission approval.
 - c. Ascertain and comply with the requirements of the Los Angeles County Fire Department.
 - d. Pay all applicable permit and development review fees as established by City ordinances and resolutions.
 - e. Obtain approval of the associated Voluntary Lot Merger application having file number #19-VM01.
 - i. The applicant shall pay all costs associated with the technical plan check and review of the voluntary merger and associated certificate of compliance. The applicant shall pay a \$3,450 plan check fee plus actual review service costs to cover all fees incurred for the processing and technical plan check and review, which is performed by consultant.
 - ii. The applicant shall pay all costs associated with the recordation of this lot merger with the Los Angeles County Recorder's Office. This lot merger approval shall not become effective until it is recorded.
 - f. Obtain approval of Accessory Second Unit Permit Application #19-ASUP02 and sign and notarize the deed restriction agreement stating that the property owner shall abide by several restrictions. The applicant is responsible for the payment of all Los Angeles County recordation fees (applicable to the ADU only).
 - g. Pay all outstanding development review fees associated with Architectural and Site Plan Review File #19-A01.
 - ii. Fire facility fee—\$0.20 per square foot;
 - iii. Parkland fee - \$4,400 (applicable to the ADU only);
 - iv. School fees—contact CUSD at (909) 398-0609; and
 - v. Other fees as set forth in the Claremont Municipal Code.

- Submit a revised landscape plan for the proposed changes to landscaping in the front setback area. The landscape plan shall comply with the State's Model Water Efficient Landscaping Ordinance (MWEL0).
- Prior to the issuance of any clearing/ grubbing/ and/or grading permit, the applicant shall:
 - Submit a stamped and signed grading/drainage plan, prepared by a licensed Civil Engineer. Such plan shall:
 - Delineate all proposed improvements, including but not limited to, flat work, new residence and garage, accessory structures, entry gates, and doors, walls, landscaping, etc.
 - Clearly identify public right-of-way existing and proposed improvements.
 - Delineate finished floor elevations.
 - Delineate flow line/proposed drainage.
 - Show any utility boxes found on the property. If relocation is required, the applicant shall make adequate arrangements with applicable utility companies.
 - Show summary of earthwork volumes.
 - Show existing and proposed sewer connections (backflow prevention device needed if upstream manhole is not lower than finished floors of all building). If existing sewer lateral is proposed to be used, the applicant shall provide proof that the lateral is in good condition.
 - Denote the underground location of various utilities to serve the site. All utilities shall be placed underground in accordance with Chapter 16.151 of the Claremont Municipal Code.
 - Be in compliance with any applicable MS4 permit requirements subject to the review and approval of the City Engineer. The developer shall work with the City's MS4 consultant (at the applicant's expense) to ensure compliance with all applicable MS4 requirements.
 - Submit a compaction test for grading pad(s).
 - Prepare and submit a soils report, which addresses the geology, stability of the site, and grading requirements. Following rough-grade completion, compaction tests shall be conducted within the pad areas and compaction test reports shall be submitted to the City.
 - Be in compliance with all water, wastewater, and hydrological requirements. This includes, but is not limited to:

- i. Maximize the percentage of pervious surfaces to allow percolation of storm water into the ground.
- ii. Minimize the quantity of storm water directed to impervious surfaces and the City's Municipal Separate Storm Water Sewer System (MS4).
- iii. Direct roof-runoff to landscaped areas.
- iv. Not discharge site drainage through underground pipes or any other conveyance to the City's MS4.

5. During grading and construction operations, the applicant shall:

- a. Implement best available control measures (BACMs) to minimize nuisance levels of construction activity emissions such as dust, emissions, and off-site impacts. BACMs shall include but are not limited to the following:
 - i. Water all active construction areas at least twice daily.
 - ii. Cover all haul trucks or maintain at least two feet of freeboard.
 - iii. Pave or apply water four times daily to all unpaved parking or staging areas.
 - iv. Sweep or wash any site access points within 30 minutes of any visible dirt deposition on any public roadway.
 - v. Cover or water twice daily any on-site stockpiles of debris, dirt, or dusty material.
 - vi. Suspend all operations on any unpaved surface if winds exceed 25 mph.
 - vii. Hydro-seed or otherwise stabilize any cleared area which is to remain inactive for more than 96 hours after clearing is completed.
 - viii. Require 90-day low-NOx tune-ups for off-road equipment.
 - ix. Limit allowable idling to 5 minutes for trucks and heavy equipment.
 - x. Encourage carpooling for construction workers.
 - xi. Limit lane closures to off-peak travel periods.
 - xii. Park construction vehicles off traveled roadways.
 - xiii. Wet down or cover dirt hauled off-site.
 - xiv. Wash or sweep access points daily.

- xv. Encourage receipt of material during non-peak traffic hours.
- xvi. Sandbag construction sites for erosion control.
- b. Ensure the following measures are observed during all construction-related activities for the project:
 - i. The hours of construction operation are limited to the hours from 7:00 a.m. to 8:00 p.m., Monday to Saturday. No construction activity is allowed on Sundays and federal holidays.
 - ii. Staging areas shall be located away from any existing residences as determined by the Building Official.
 - iii. All construction equipment shall use properly operating mufflers.
- 6. Prior to the release of the public works bonds, the improvements authorized by either the grading permit and/or public works permit(s) shall be completed to the satisfaction of the City Engineer.
- 7. During the course of all on-site grading and construction activity, the applicant shall employ adequate dust control measures in accordance with the California Building Code, SCAQMD, and City requirements to minimize fugitive dust.
- 8. Noise sources associated with construction activities shall not exceed the noise levels as set forth in Section 16.154.020(f) of the Claremont Municipal Code.
- 9. Noncompliance with any condition of this approval shall constitute a violation of the City's Municipal Code. Violations may be enforced in accordance with the provisions of the administrative fines program of Chapter 1.14 of the Claremont Municipal Code.
- 10. The applicant/owner, by utilizing the benefits of this approval, shall thereby agree to defend at its sole expense any action against the City, its agents, officers, and employees because of the issues of such approval. In addition, the applicant/owner shall reimburse the City et al for any court costs and attorney fees that the City et al may be required to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action, but such participation shall not relieve the applicant/owner of its obligation hereunder.
- 11. Failure to comply with any of the conditions, including design issues as shown on plans reviewed and approved by the City of Claremont, may result in failure to obtain a building final and/or a certificate of occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/or complete demolition of a non-compliant improvement, regardless of costs incurred, where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project.

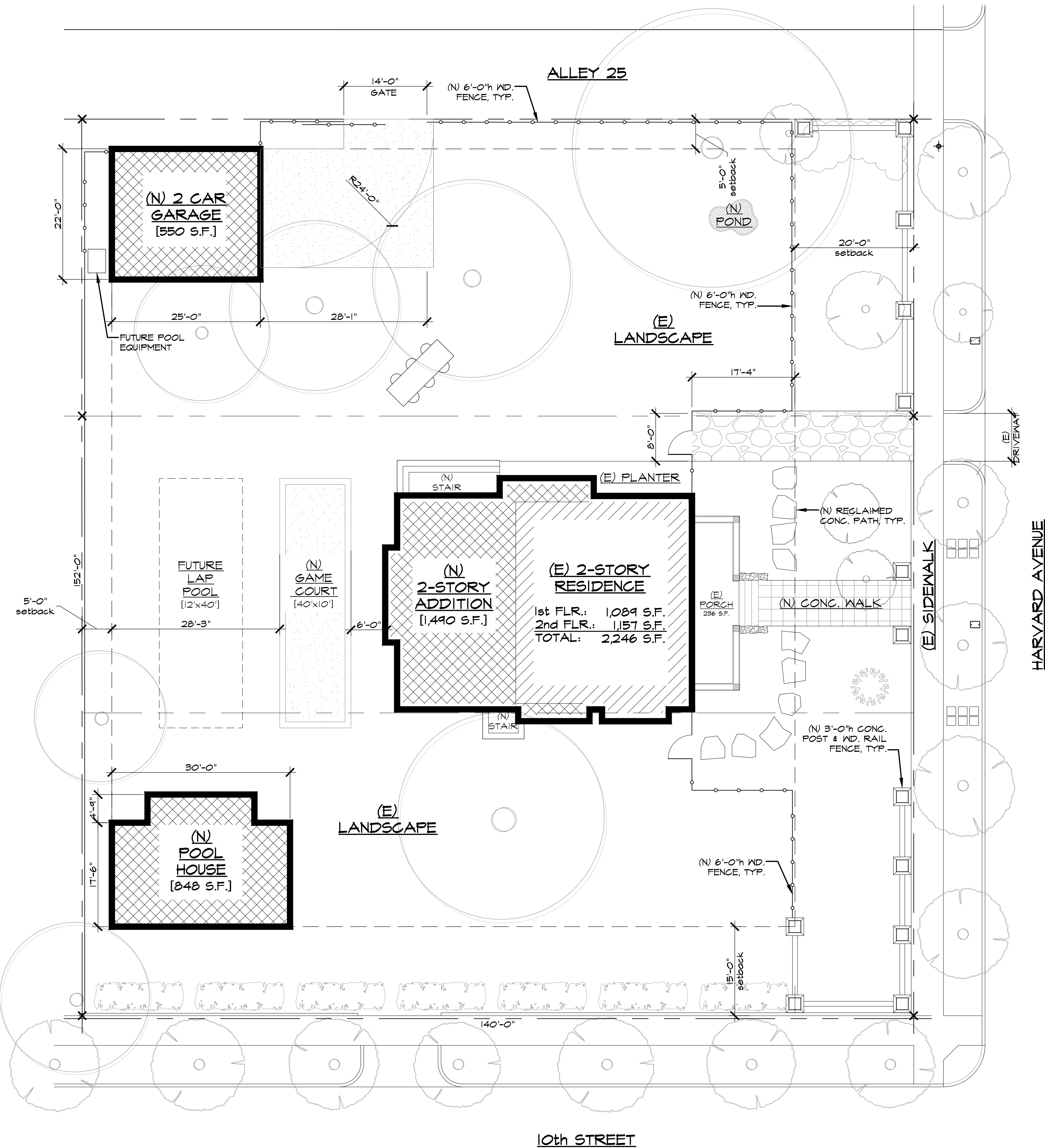
Section E. The Architectural Commission Chair shall sign this resolution and the Commission's secretary shall attest to the adoption thereof.

Passed, approved, and adopted this 12th day of June, 2019.

Architectural Commission
Chair

ATTEST:

Architectural Commission Secretary



Remodel + Addition For:

: RACHLIN RESIDENCE :

1011 Harvard Ave., Claremont, CA 91711

PROJECT DATA

PROJECT DATA	
YEAR BUILT:	1905
ZONE:	HC-7500
OCCUPANCY:	R-3/U
TYPE OF CONSTRUCTION:	V-B (non-sprinklered)
LOT SIZE:	21,280 sq. ft.
MAXIMUM FLOOR AREA:	4,688 sq. ft.
MAXIMUM LOT COVERAGE	20%
EXISTING LOT COVERAGE:	8.9%
<small>1,902 sf/21,280 sf = 0.0893x100 = 8.9%</small>	

EXISTING RESIDENCE	
BASEMENT:	152 sq. ft.
1st FLOOR:	1,666 sq. ft.
PORCH:	236 sq. ft.
	1,902 sq. ft.
2nd FLOOR:	1,266 sq. ft.
BALCONY:	91 sq. ft.
	1,357 sq. ft.
EXISTING TOTAL:	3,259 sq. ft.
<small>(NOT INCLUDING BASEMENT)</small>	

DEMOLITION:	
1st FLOOR:	577 sq. ft.
2nd FLOOR:	200 sq. ft.
DEMOLITION TOTAL:	777 sq. ft.

ADDITION:	
1st FLOOR:	812 sq. ft.
PORCH @ NORTH:	61 sq. ft.
PORCH @ SOUTH:	10 sq. ft.
2nd FLOOR:	607 sq. ft.
ADDITION TOTAL:	1,490 sq. ft.

NEW OVERALL FLOOR AREA:	
1st FLOOR:	2,208 sq. ft.
2nd FLOOR:	1,764 sq. ft.
TOTAL:	3,972 sq. ft.
<small>(NOT INCLUDING BASEMENT)</small>	

NEW ACCESSORY DWELLING UNIT:	
1ST FLR:	623.5 sq. ft.
LOFT:	224.5 sq. ft.
	848.0 sq. ft.

NEW DETACHED GARAGE:	550 sq. ft.
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NEW LOT COVERAGE:	15.9%
<small>2,208sf + 623.5sf + 550sf = 3,381.5 sf/21,280 sf = 0.1589x100 = 15.9%</small>	

AREA OF REMODEL:	
1st FLOOR:	532 sq. ft.
2nd FLOOR:	578 sq. ft.
TOTAL AREA OF REMODEL:	1,110 sq. ft.

SCOPE OF WORK:
REMODEL FOYER, EXISTING KITCHEN, DINNING ROOM, LIVING ROOM, CONVERT PLAYROOM/OFFICE INTO GREAT ROOM. ADD ADDITIONAL SQUARE FOOTAGE TO FIRST AND SECOND FLOORS. NEW POOL HOUSE ADDITION, AND NEW DETACHED GARAGE.

DRAWING INDEX

T1.0	TITLE SHEET + NEW SITE PLAN
T1.1	EXISTING & DETAIL PHOTOS
	ARCHITECTURAL DRAWINGS
L1.0	NEW PLANTING PLAN
A1.0	EXISTING + DEMO FLOOR PLANS
A2.0	NEW FIRST FLOOR REMODEL PLAN
A2.1	NEW SECOND FLOOR REMODEL PLAN
A2.2	NEW FIRST REMODEL ROOF PLAN
A2.3	NEW SECOND REMODEL ROOF PLAN
A2.4	EXTERIOR EAST + WEST ELEVATIONS
A2.5	EXTERIOR NORTH + SOUTH ELEVATIONS
A3.0	NEW POOL HOUSE PLANS
A3.1	NEW POOL HOUSE ELEVATIONS
A4.0	NEW GARAGE PLANS + ELEVATIONS
A5.0	FOOTPRINT COMPARISON DIAGRAM SHEET
A6.0	SCHEDULES

GENERAL NOTES

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- ALL WORK ON THIS PROJECT IS TO BE PERFORMED AND COMPLETED IN CONFORMITY WITH THE MOST RECENT EDITIONS OF THE CLAREMONT MUNICIPAL CODE, CALIFORNIA BUILDING, FIELD INSPECTION, ANY APPROVALS THAT APPEAR TO AUTHORIZE NON-CONFORMITY WITH THE ADOPTED STANDARDS ARE NOT VALID.

PROJECT TEAM

OWNER:
STEVE & NATHALIE RACHLIN
1011 HARVARD AVE.
CLAREMONT, CA 91711

CONTACT: STEVE RACHLIN

ARCHITECT:
WHEELER & WHEELER A.I.A. ARCHITECTS, INC.
133 SOUTH SPRING STREET
CLAREMONT, CA 91711-1407
(909) 624-5045 OFFICE

CONTACT: ANA AGUILAR

NO.	DATE	REVISION

WHEELER & WHEELER
ARCHITECTURE ■ INTERIORS ■ PLANNING
133 South Spring Street, Claremont, California 91711 909-624-5045 FAX 909-621-7757
www.wheelerandwheeler.com

TITLE SHEET
ADDITION + REMODEL FOR:
RACHLIN RESIDENCE
1011 Harvard Avenue
Claremont, CA 91711

DATE	2019 JAN 21
JOB NO.	
DRAWN BY	JJ

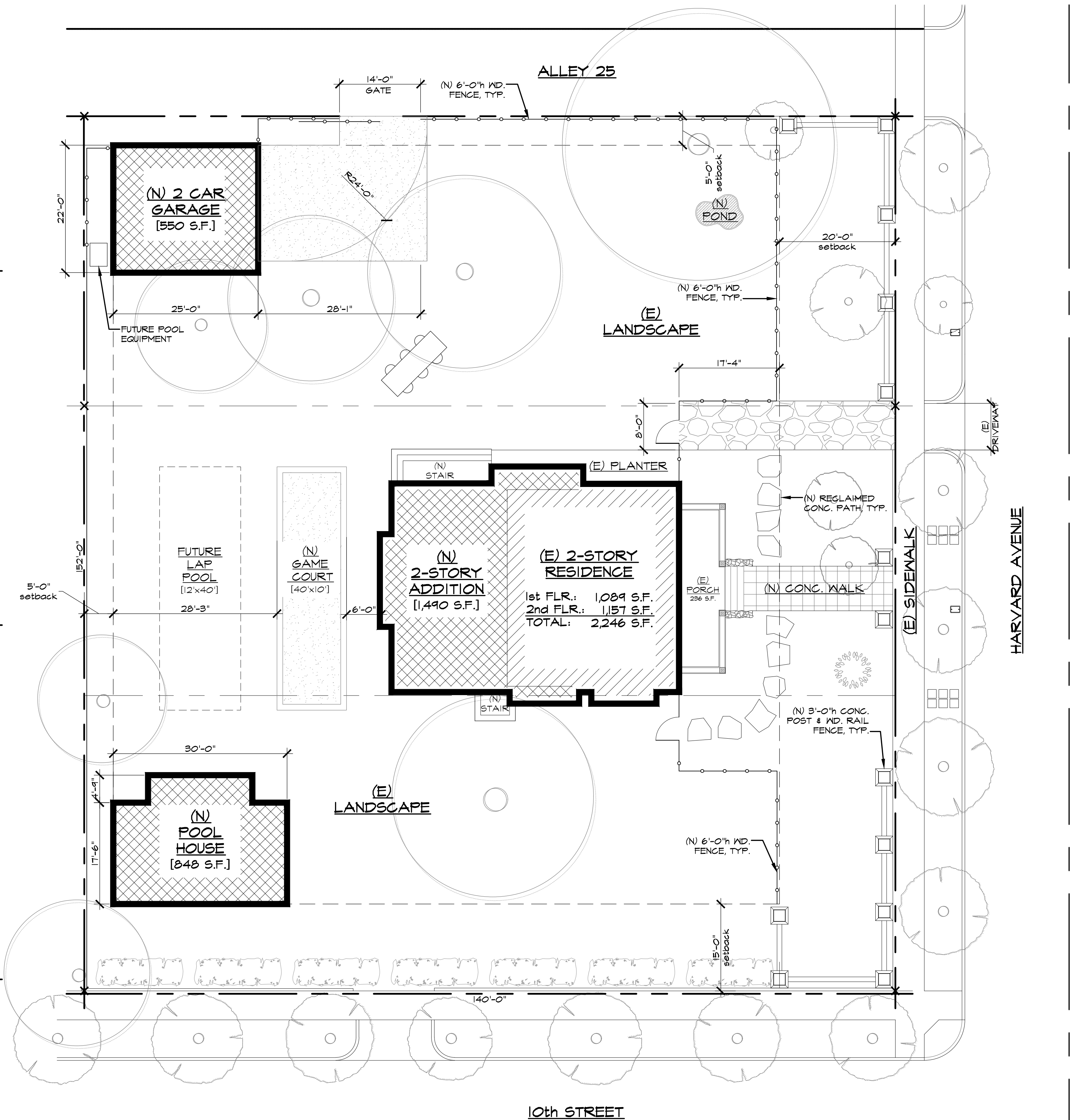
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APN NO: 8309-012-004, 8309-012-005, 8309-012-006



NEW SITE PLAN
SCALE: 3/32" = 1'-0"

Remodel + Addition For:

: RACHLIN RESIDENCE : 1011 Harvard Ave., Claremont, CA 91711

PROJECT DATA

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133 South Spring Street, Claremont, California 91711 909-624-5045 FAX 909-621-7757
WWW.WHEELER-AND-WHEELER.COM

TITLE SHEET
ADDITION + REMODEL FOR:
RACHLIN RESIDENCE
1011 Harvard Avenue
Claremont, CA 91711

DATE	2019 JAN 21
JOB NO.	
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APN NO: 8309-012-004, 8309-012-005, 8309-012-006

88

Custom Wood Windows

Double Hung Windows

Beyond the basic double hung window, this classic window has been taken to a new architectural level. It's easy to operate, easy to clean, and fits most budgets.

Balanced sash allow for smooth, easy operation. Cleaning the window from inside the home with our "Tilt-in" feature makes cleaning less of a chore.

Cobb double hung windows are made to your size. They are built to be easy on your energy cost too. Foam backed jambliners, top and bottom weatherstripping and positive locking mechanism help make that important tight seal.




Exclusive Features:

1. Full 4-1/8" or 4-1/2" Jamb (Wider Jamb Optional)
2. Extruded Vinyl Jambliners with Foam Backing and our Concealed Balance System
3. Sash are a Full 1-3/8" Thick, VG Douglas Fir with Tilt-in Feature
4. 1/2" Insulated Glass (Other Glass Options are Available)
5. Sash Weatherstripped with Bulb Weatherstripping
6. Solid One Piece Redwood Sill
7. Sill Pans to Protect Moisture Intrusion
8. Wide Selection of Exterior Trim

Casement Windows

Equally, our casement window has undergone the same evolution as the double hung window. Exact engineering features make it one of the leading casement windows on the market today. Tested to meet our high standards, and yours. Old world French paired casements also add to the charm of this traditional window. Truly one of the best.




Exclusive Features:

1. Full 4-1/8" or 4-1/2" Jamb (Wider Jamb Optional)
2. Completely Weatherstripped with Bulb Weatherseal to Form a Double Weatherstripped System for Added Performance
3. Sash is a Full 1-3/8" Thick VG Douglas Fir
4. Shown in Single Glazed, Insulated Glass Optional. (Other Options are Available)
5. Truth® Entry Guard Hardware
6. One Piece Redwood Sill
7. Sill Pans to Protect Against Moisture Intrusion
8. Wide Selection of Exterior Trim

Bay Windows

See things a little differently when you install a bay window. Built to fit your opening. Available with either casement (shown) or double hung "Flankers". No matter how you design it, it's a great way to see the world outside. Features include all the unique features of the casement and double hung units plus the head and seat is included and it's completely assembled and ready to install.




89

Custom Wood Windows

Horizontal Sliding Windows

Sliding Windows belong to the same family as the Double Hung. The major difference is that they open horizontal rather than vertical. You can gain a wide-eyed vista much like a picture window when utilizing a sliding window. All units are available single or dual glazed.



Exclusive Features:

1. 4-1/8" or 4-1/2" Jamb (Wider Jamb Optional)
2. Sash are a full 1-3/8" Thick VG Douglas Fir
3. Shown in Single Glazed, Insulated Glass Optional
4. Heavy Duty Roller System for Easy-Glide
5. Weatherstripped with a Combination of Bulb and Compression Weatherseals
6. One Piece Redwood Sill
7. Sill Pan to Protect Against Moisture Intrusion
8. Wide Selection of Exterior Trim

Awning Style Windows

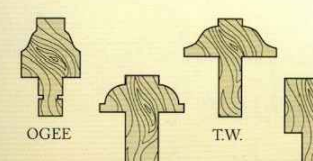
The most versatile window we manufacture, that's because you can design it's use with fixed or horizontal configuration. Use the awning style window to solve the need for light but the concern for privacy by installing high in the room.



Exclusive Features:

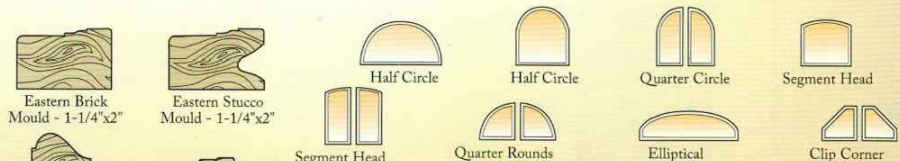
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5. Completely Weatherstripped with Bulb Weatherseal to Form a Double Weatherstripped System
6. One Piece Redwood Sill
7. Sill Pan to Protect Against Moisture Intrusion
8. Wide Selection of Exterior Trim

True Divided Lite with Barwork You Select



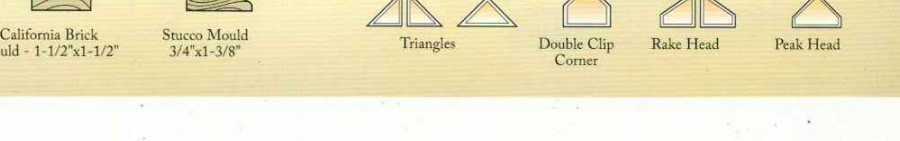
1 3/8" Sash Barwork Typical Detail (Not to Scale)

Your Choice of Exterior Trim



California Rock Mould 1 1/2"x1 1/2"
Saxon Mould 3/4"x1 1/2"

Custom Window Shapes



EXISTING SOUTH ELEVATION

EXISTING WINDOW DETAILS [MATCH]

EXISTING COLUMN + WAINSCOT TRANSITION + PEDIMENT DETAILS [MATCH]

PROPOSED 6 ft. FENCE [BOARD & BATTEN]
PROPOSED 3 ft. FENCE [RIVER ROCK POST & WOOD RAIL]

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NO.	DATE	REVISION
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WHEELER & WHEELER

ARCHITECTS

ARCHITECTURE ■ INTERIORS ■ PLANNING
133 South Spring Street, Claremont, California 91711
TEL: 909-424-5045 FAX: 909-424-7577
WWW.WHEELER-ARCHITECTS.COM

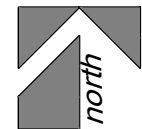
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1011 Harvard Avenue
Claremont, CA 91711

DATE: 2019 JAN 21
JOB NO.:
DRAWN BY: AVA

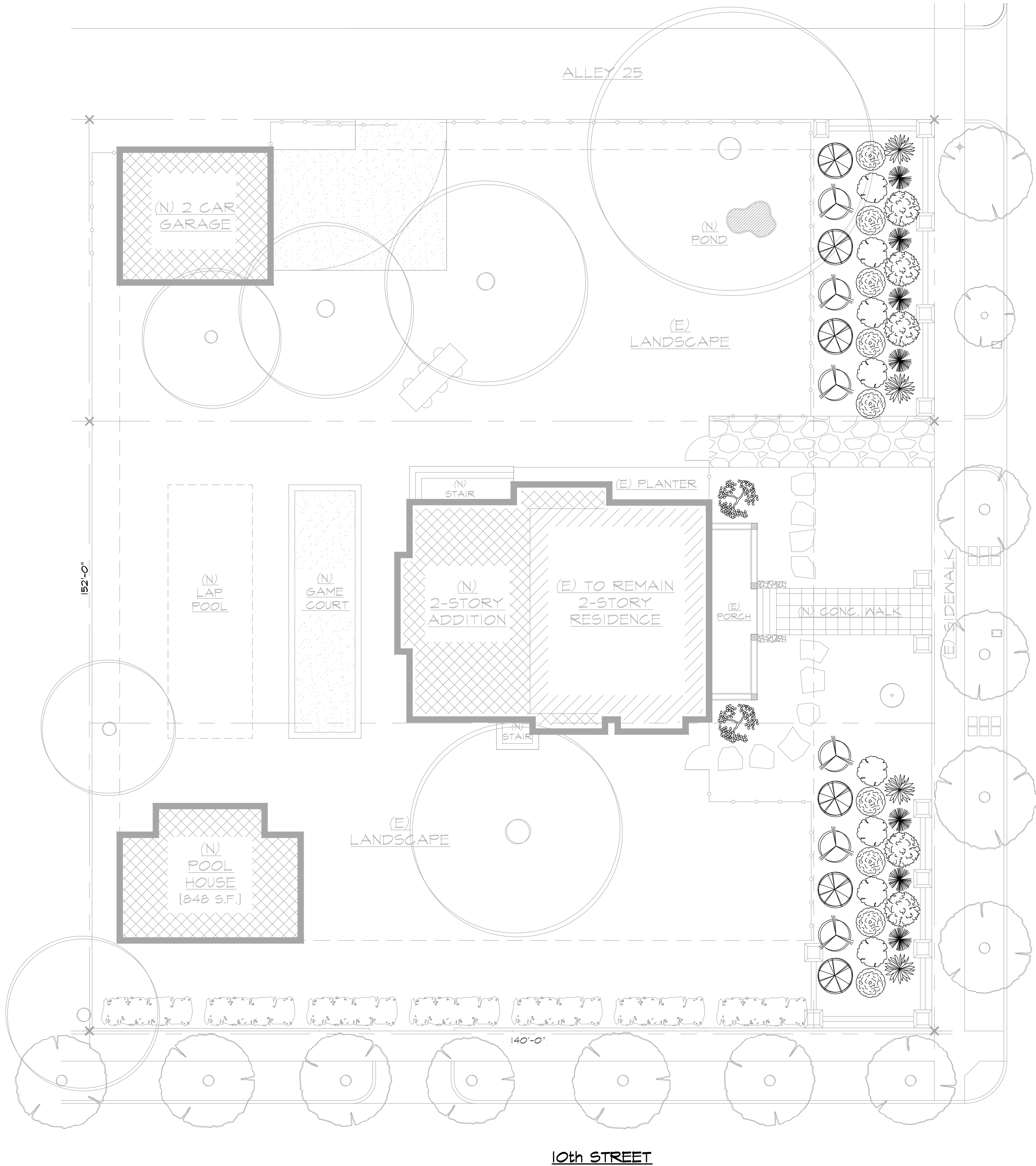
DRAWING NO.:
T1.1

APN NO: 8309-012-004, 8309-012-005, 8309-012-006



NEW PLANTING PLAN

SCALE: 3/32" = 1'-0"



HARVARD AVENUE

- PLANT LEGEND:**
-  DWARF LEMON TREE
 -  DWARF LIME TREE
 -  DWARF MYRTLE
 -  RED GRASS
 -  ALOE VERA
 -  JAPANESE MAPLE TREE
 -  RUSSIAN SAGE
 -  LANTANA
 -  EXISTING TO REMAIN
 -  EXISTING TO REMAIN
 -  EXISTING TO REMAIN



DWARF LEMON TREE



DWARF LIME TREE



RED GRASS



DWARF MYRTLE



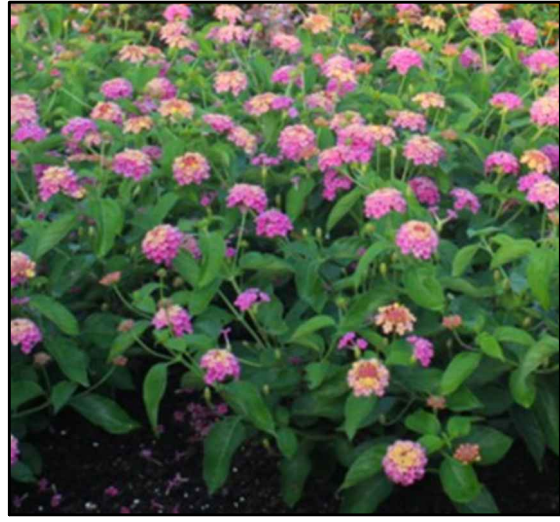
ALOE VERA



JAPANESE MAPLE TREE



RUSSIAN SAGE



LANTANA

WHEELER & WHEELER

A R C H I T E C T S

ARCHITECTURE ■ INTERIORS ■ PLANNING
133 South Spring Street, Claremont, California 91711 909-624-5095 FAX 909-621-7757
WWW.WHEELER-AND-WHEELER.COM

NEW PLANTING PLAN

ADDITION + REMODEL FOR:

RACHLIN RESIDENCE

1011 Harvard Avenue

Claremont, CA 91711

DATE

2019 JAN 21

JOB NO.

DRAWN BY

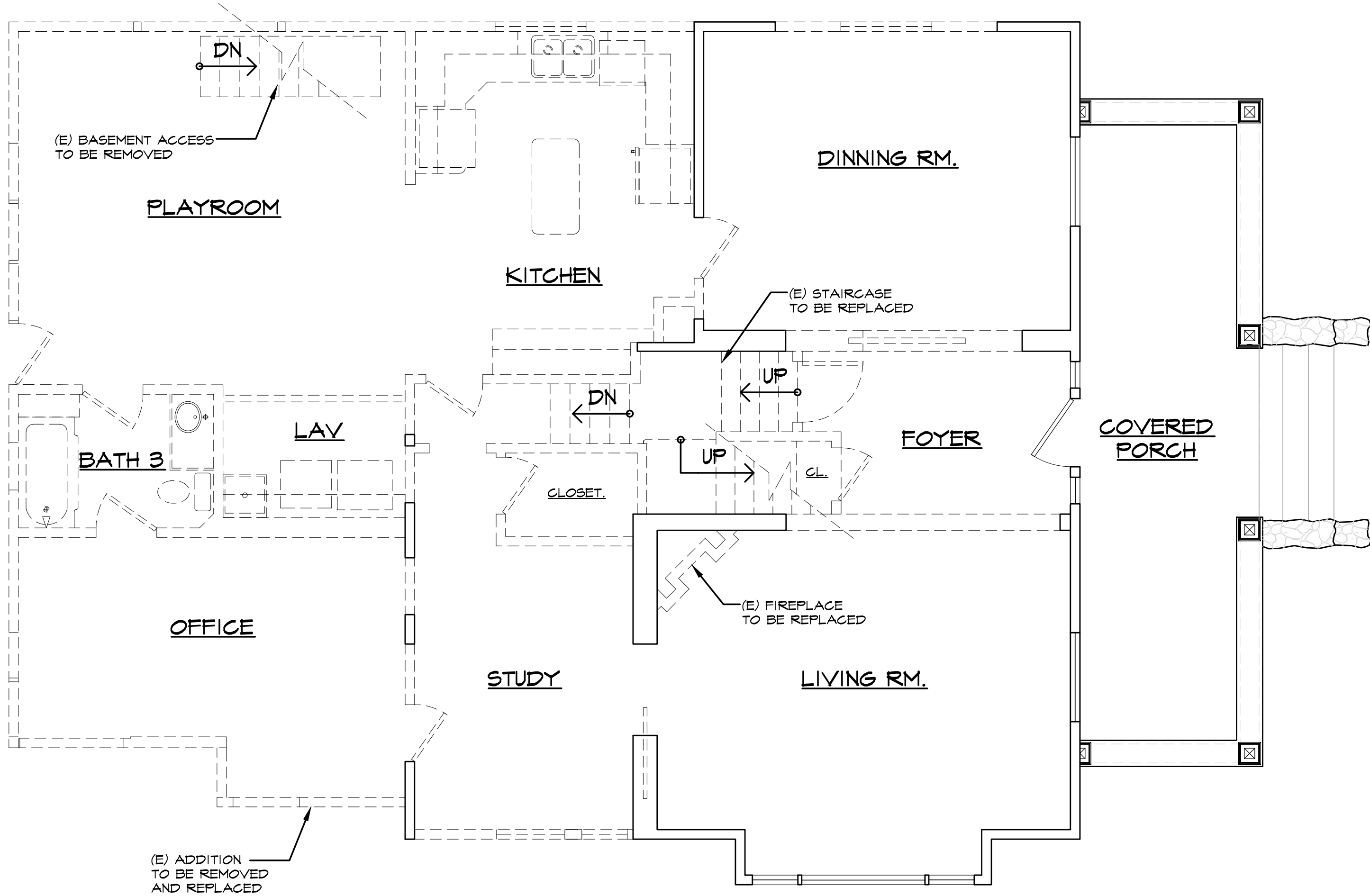
JJ

DRAWING NO.

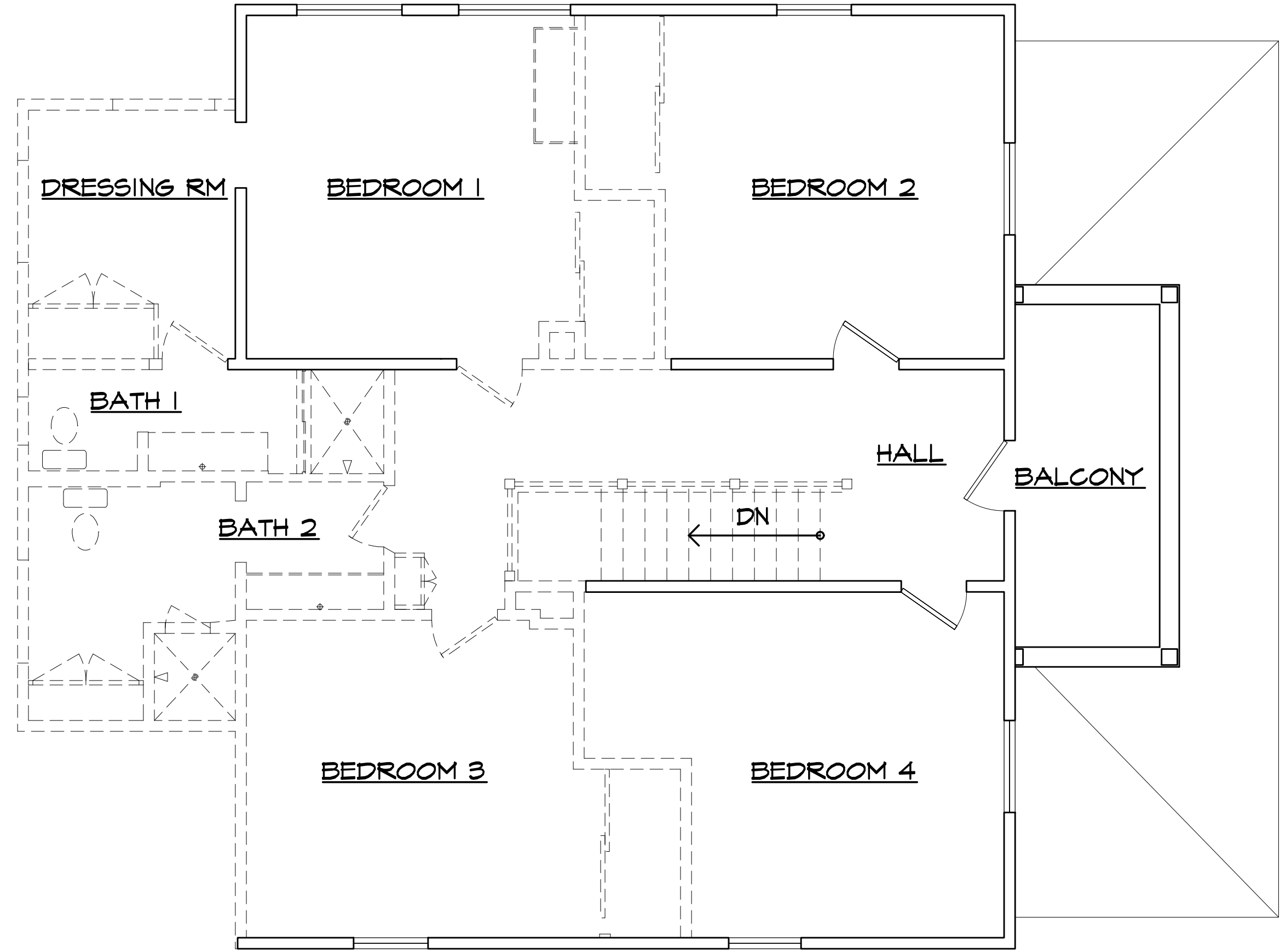
L1.0

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EXISTING/DEMO FIRST FLOOR PLAN [1,666.0 S.F.]
SCALE: 1/4" = 1'-0"



EXISTING/DEMO SECOND FLOOR PLAN [1,266.0 S.F.]
SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND

- EXISTING WOOD STUD WALL TO REMAIN, TYP.
- EXISTING WOOD STUD WALL TO BE REMOVED, TYP.
- EXISTING EXTERIOR DOOR TO BE REMOVED, TYP.
- EXISTING WINDOW TO BE REMOVED, TYP.
- EXISTING FLUORESCENT LIGHT TO REMAIN TYP.
- EXISTING FLUORESCENT LIGHT TO BE REMOVED, TYP.

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WHEELER & WHEELER ARCHITECTS, INC.

EXISTING/DEMO PLANS
ADDITION + REMODEL FOR:
RACHLIN RESIDENCE
1011 Harvard Avenue
Claremont, CA 91711

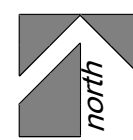
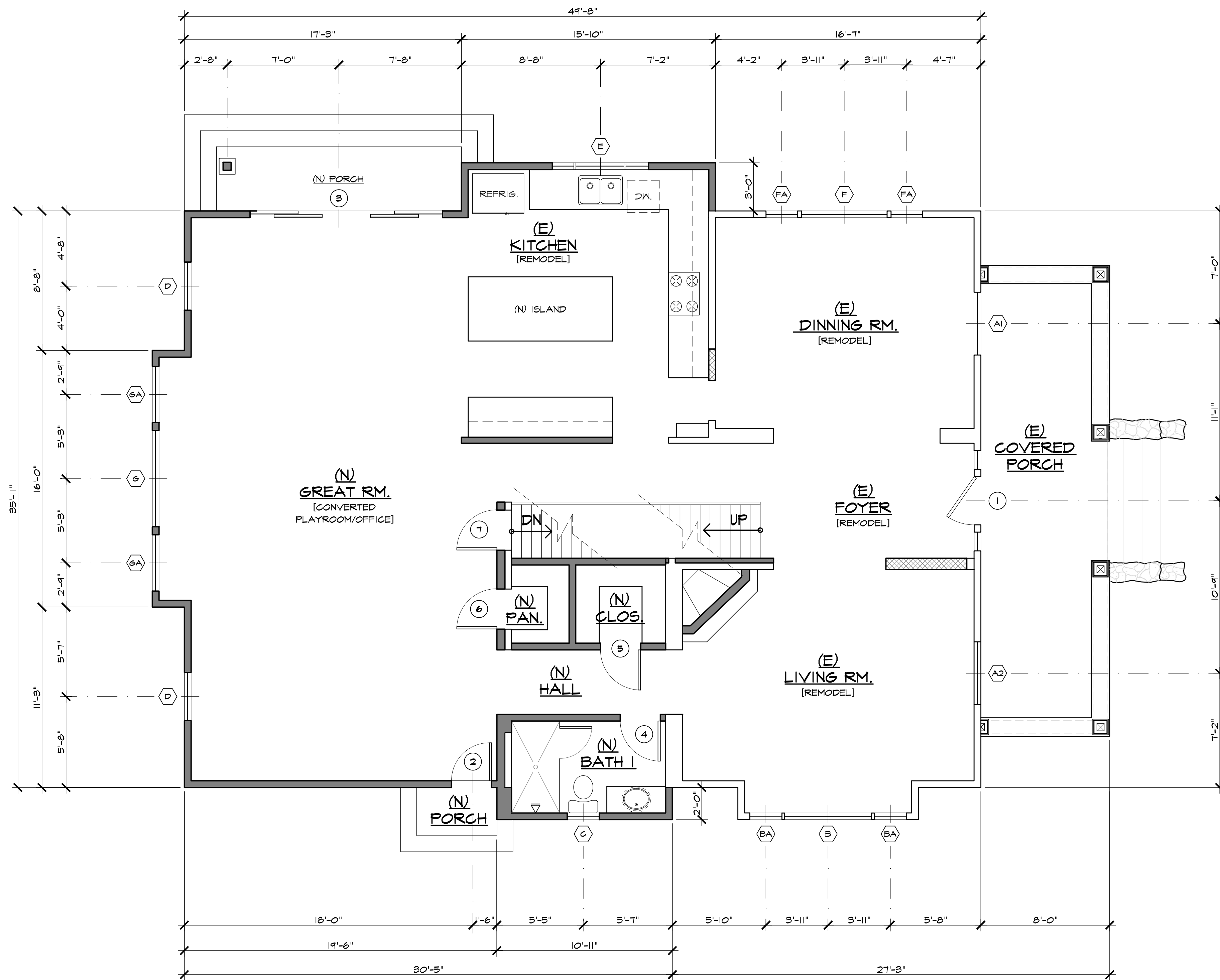
DATE 2019 JAN 21
JOB NO.
DRAWN BY JJ

DRAWING NO.
A1.0

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APN NO: 8309-012-004, 8309-012-005, 8309-012-006

**NEW FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

[2,208 S.F.]

SYMBOLS LEGEND

- NEW 2x6 #2 DF WOOD STUD WALL
W/R-19 BATT INSULATION, TYP.
- NEW WD. STUD INFILL WALL, TYP.
- EXISTING WOOD STUD WALL TO REMAIN,
TYP.
- INDICATES WINDOW LETTER, SEE DOOR
SCHEDULE ON SHEET A6.0
- INDICATES DOOR NUMBER, SEE DOOR
SCHEDULE ON SHEET A6.0

NEW FIRST FLOOR REMODEL PLAN

ADDITION + REMODEL FOR:

RACHLIN RESIDENCE

1011 Harvard Avenue

Claremont, CA 91711

DATE
2019 JAN 21

JOB NO.

DRAWN BY
JJ

DRAWING NO.

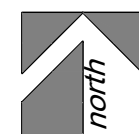
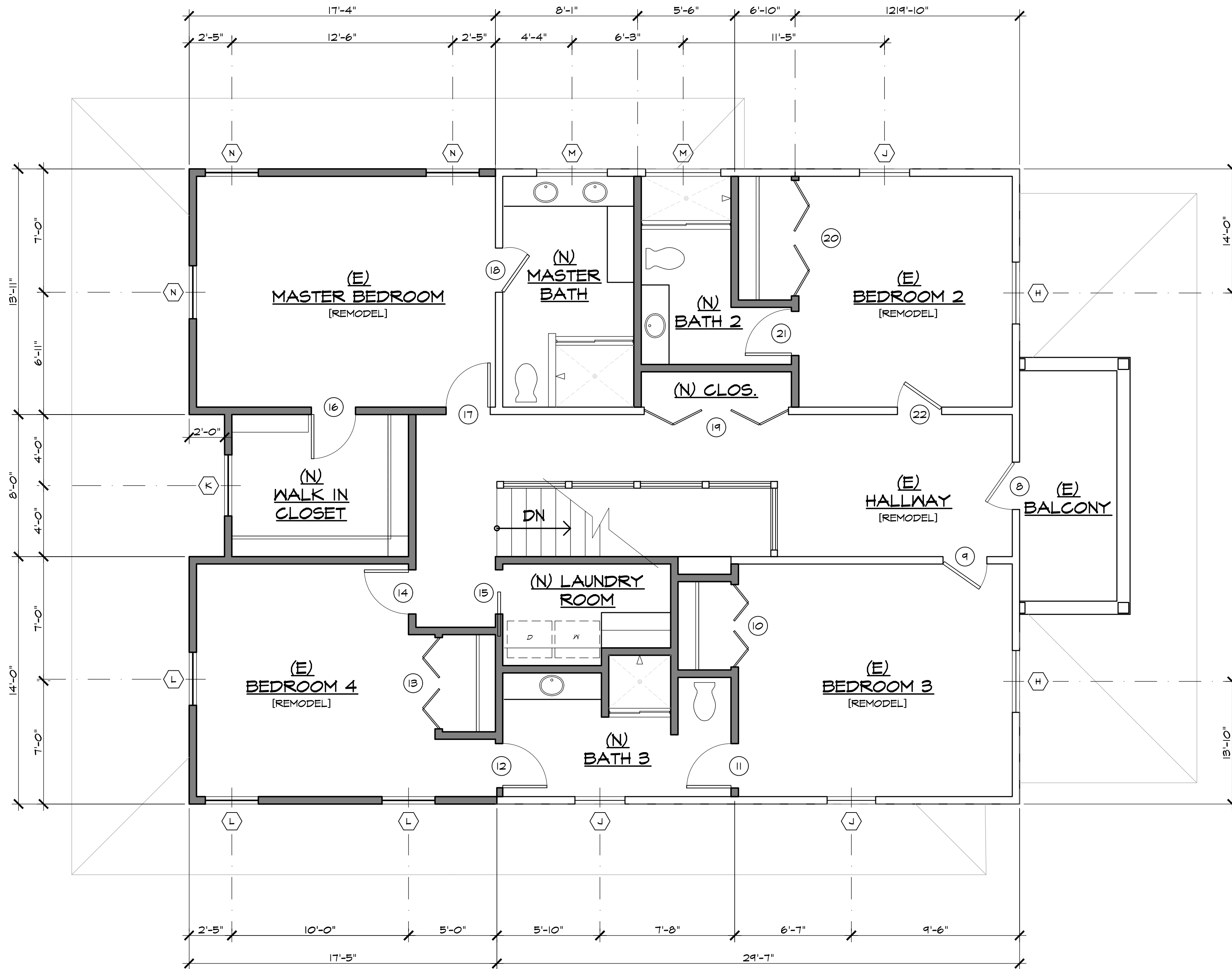
A2.0**WHEELER & WHEELER****A R C H I T E C T S**

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WWW.WHEELER-AND-WHEELER.COM

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APN NO: 8309-012-004, 8309-012-005, 8309-012-006



NEW SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

[1,764 S.F.]

SYMBOLS LEGEND

- NEW 2x6 #2 DF WOOD STUD WALL
W/R-19 BATT INSULATION, TYP.
- NEW WD. STUD INFILL WALL, TYP.
- EXISTING WOOD STUD WALL TO REMAIN,
TYP.
- (X) INDICATES WINDOW LETTER, SEE DOOR
SCHEDULE ON SHEET A6.0
- (#) INDICATES DOOR NUMBER, SEE DOOR
SCHEDULE ON SHEET A6.0

NEW SECOND FLOOR REMODEL PLAN
ADDITION + REMODEL FOR:
RACHLIN RESIDENCE
1011 Harvard Avenue
Claremont, CA 91711

DATE
2019 JAN 21
JOB NO.
DRAWN BY
JJ

DRAWING NO.

A2.1

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(E) ASPHALT SHINGLE
ROOF TO BE REMOVED
AND REPLACED W/ GAF
TIMBERLINE HD SHINGLES
CHARCOAL, TYP.

(N) ASPHALT SHINGLES
ROOF GAF TIMBERLINE HD
SHINGLES CHARCOAL, TYP

SCALE: 1/4" = 1'-0"

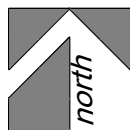
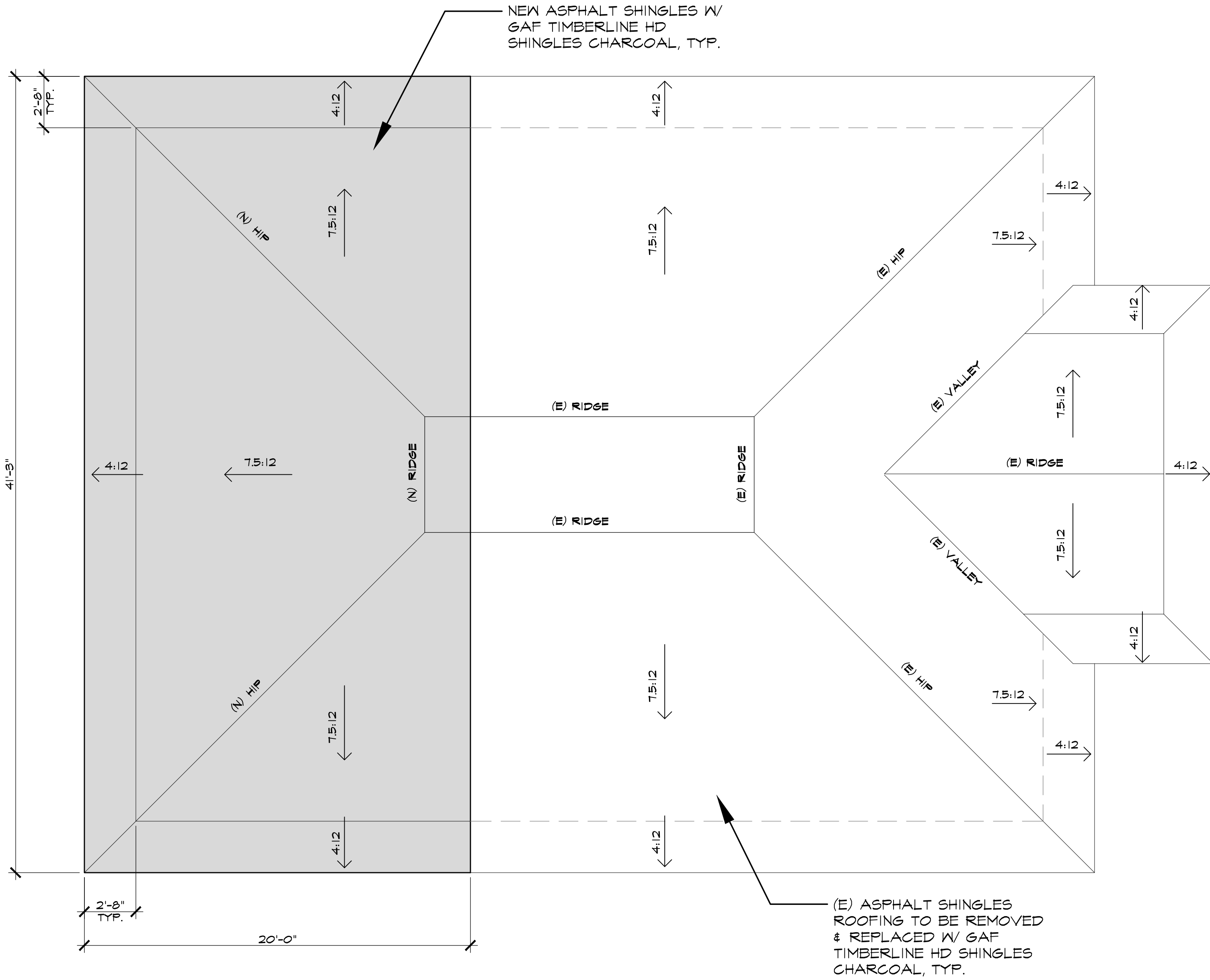
A2.2

RACHLIN RESIDENCE
1011 Harvard Avenue
Claremont, CA 91711

ARCHITECTURE ■ INTERIORS ■ PLANNING
333 South Spring Street, Claremont,
California 91711 909-624-5095 FAX 909-621-7757
PAUL S. WHEELER AA Architect C12185
MAUREEN M. WHEELER AA Architect C14815

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Claremont, CA 91711
130 South Spring Street, Claremont, CA 91711
Paul S. Wheeler & Partners, CPAs

**NEW SECOND FLOOR ROOF PLAN**

SCALE: 1/4" = 1'-0"

DATE

2019 JAN 21

JOB NO.

-

DRAWN BY

JJ

DRAWING NO.

A2.3

NEW SECOND FLOOR REMODEL ROOF PLAN

ADDITION + REMODEL FOR:

RACHLIN RESIDENCE

1011 Harvard Avenue

Claremont, CA 91711

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PHOTO: K. WHEELER & WHEELER ARCHITECTS

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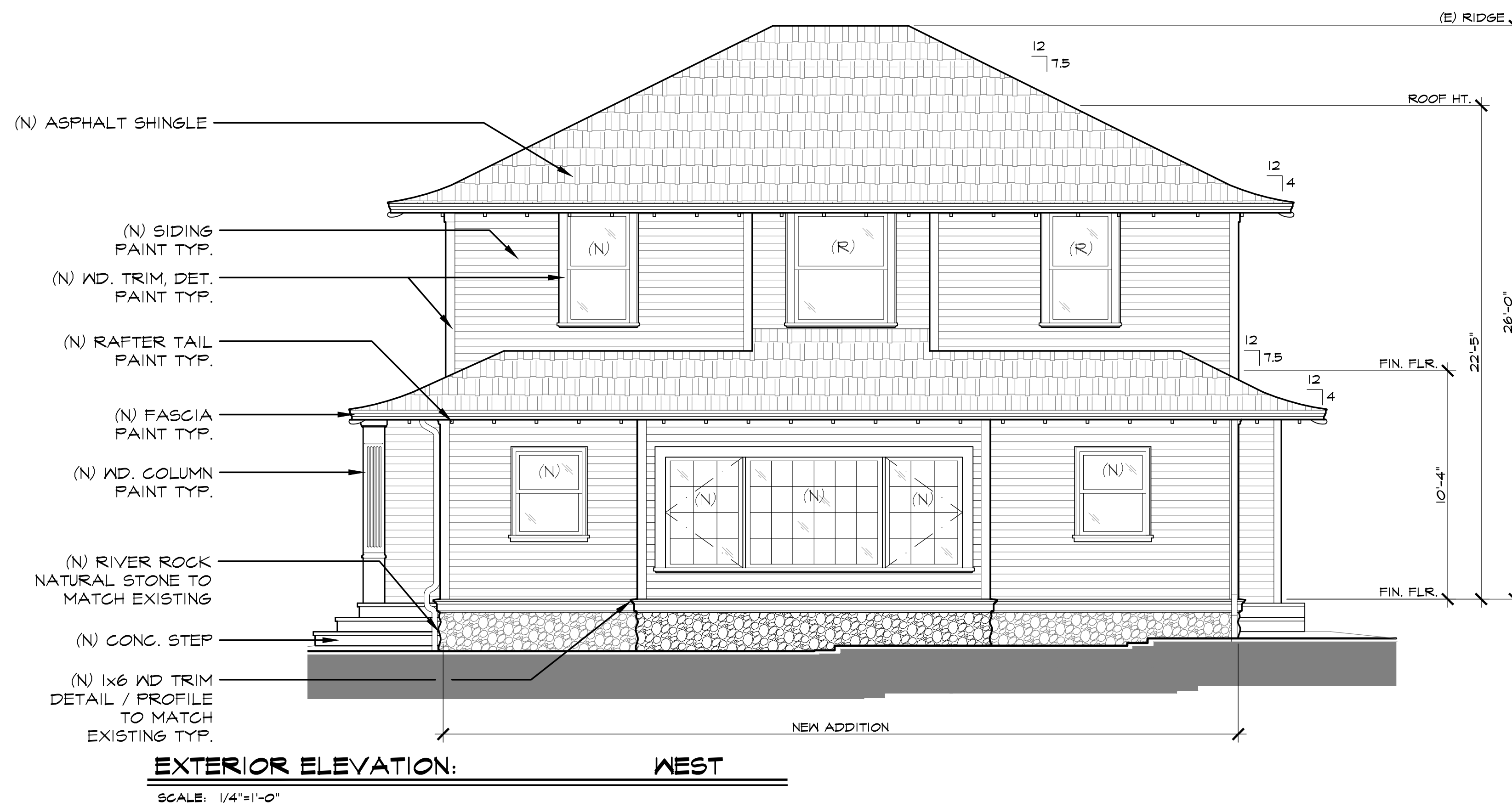
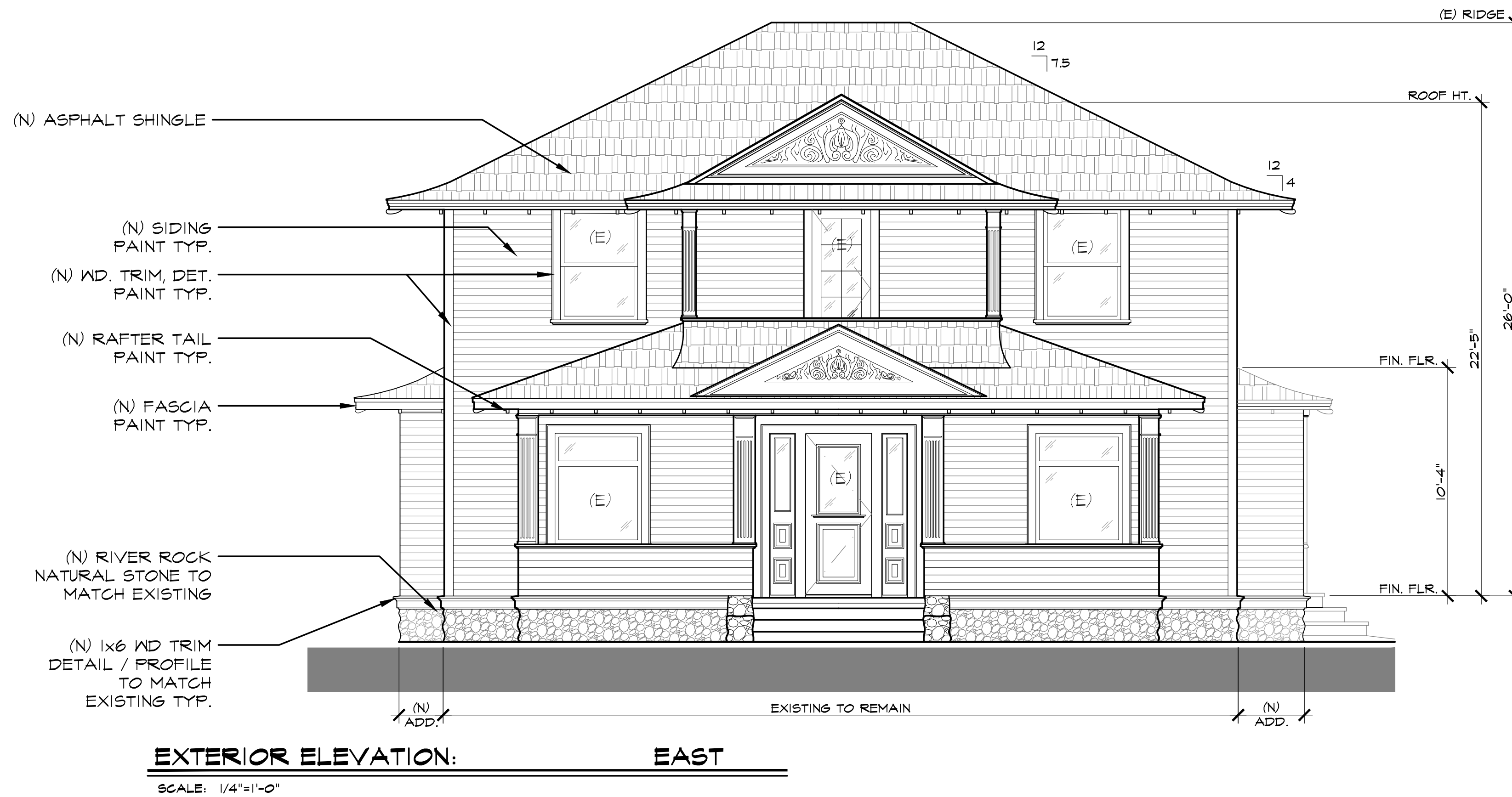
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APN NO: 8309-012-004, 8309-012-005, 8309-012-006

**COLOR & MATERIALS:**

ROOF:	GAF TIMBERLINE HD SHINGLES CHARCOAL
SIDING:	BEHR PAINT SHUTTER GRAY PPU25-10
FASCIA & RAFTER TAIL:	BEHR PAINT SILKY WHITE PPU7-12
EAVES, DOORS & WINDOW TRIM:	BEHR PAINT SILKY WHITE PPU7-12
DOOR & WINDOW ACCENT:	BEHR PAINT CHARISMATIC PPU6-14
RIVER ROCK:	NATURAL STONE TO MATCH EXISTING

NEW EAST + WEST ELEVATIONS**ADDITION + REMODEL FOR:****RACHLIN RESIDENCE****1011 Harvard Avenue****Claremont, CA 91711**

DATE

2019 JAN 21

JOB NO.

DRAWN BY

J

DRAWING NO.

A2.4**WHEELER & WHEELER****A R C H I T E C T S**ARCHITECTURE ■ INTERIORS ■ PLANNING
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APN NO: 8309-012-004, 8309-012-005, 8309-012-006

**COLOR & MATERIALS:**

ROOF:	GAF TIMBERLINE HD SHINGLES CHARCOAL
SIDING:	BEHR PAINT SHUTTER GRAY PPU25-10
FASCIA & RAFTER TAIL:	BEHR PAINT SILKY WHITE PPU7-12
EAVES, DOORS & WINDOW TRIM:	BEHR PAINT SILKY WHITE PPU7-12
DOOR & WINDOW ACCENT:	BEHR PAINT CHARISMATIC PPU6-14
RIVER ROCK:	NATURAL STONE TO MATCH EXISTING

NEW NORTH + SOUTH ELEVATIONS

ADDITION + REMODEL FOR:

RACHLIN RESIDENCE

1011 Harvard Avenue

Claremont, CA 91711

DATE 2019 JAN 21

JOB NO.

DRAWN BY JJ

DRAWING NO.

A2.5

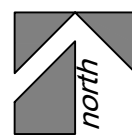
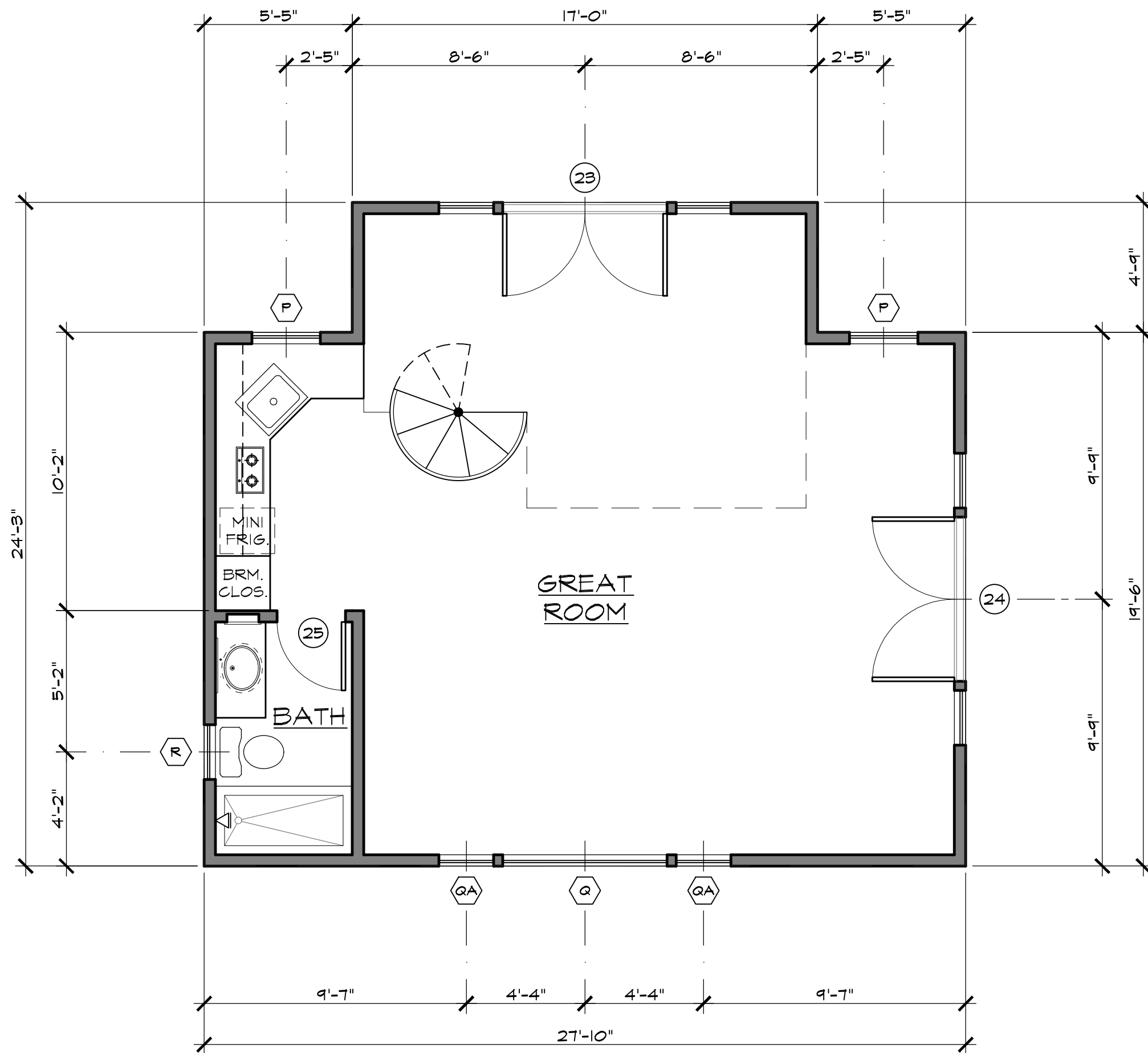
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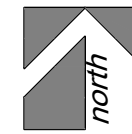
APN NO: 8309-012-004, 8309-012-005, 8309-012-006



NEW POOL HOUSE PLAN

[623.5 S.F.]

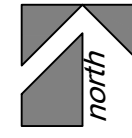
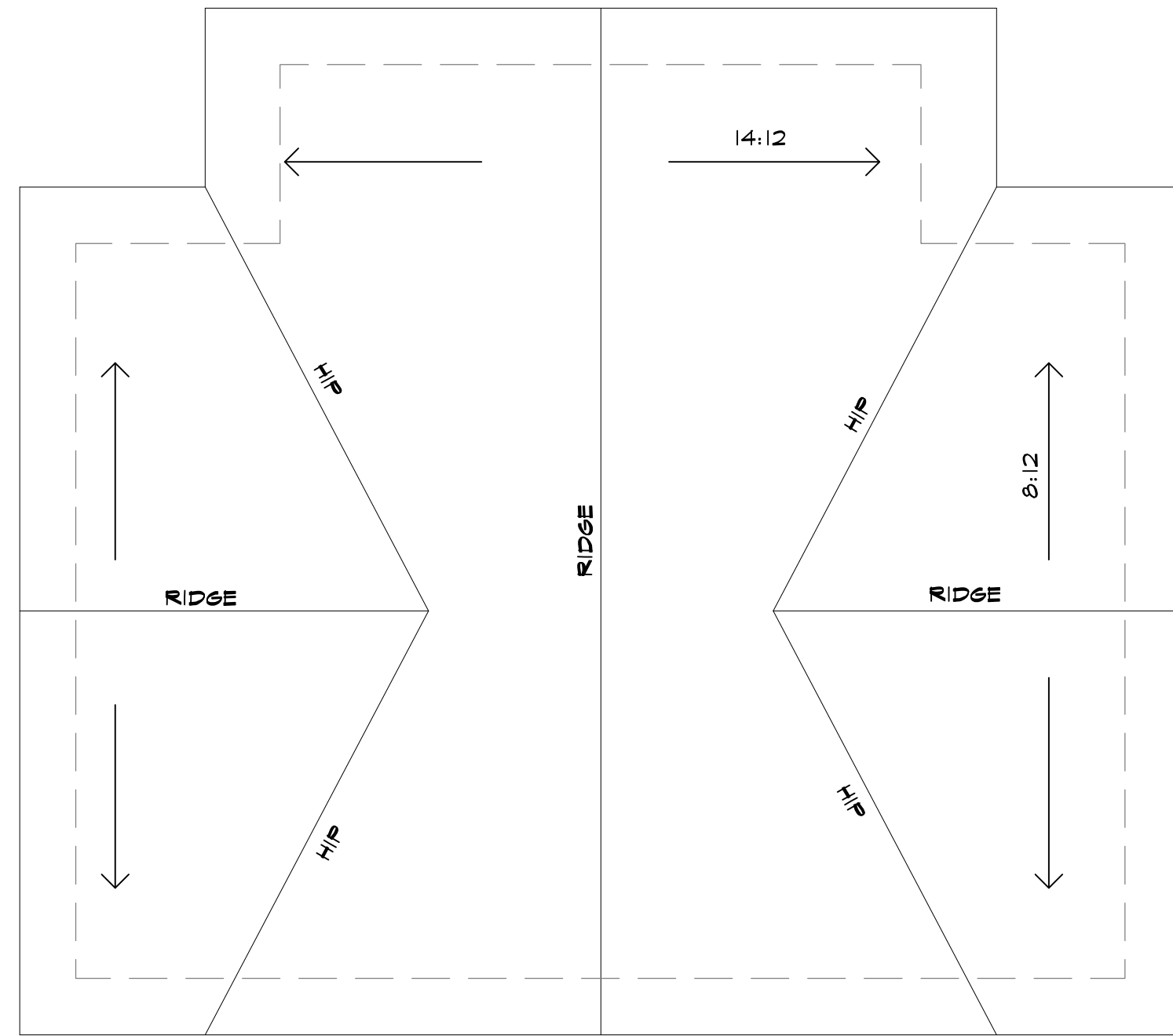
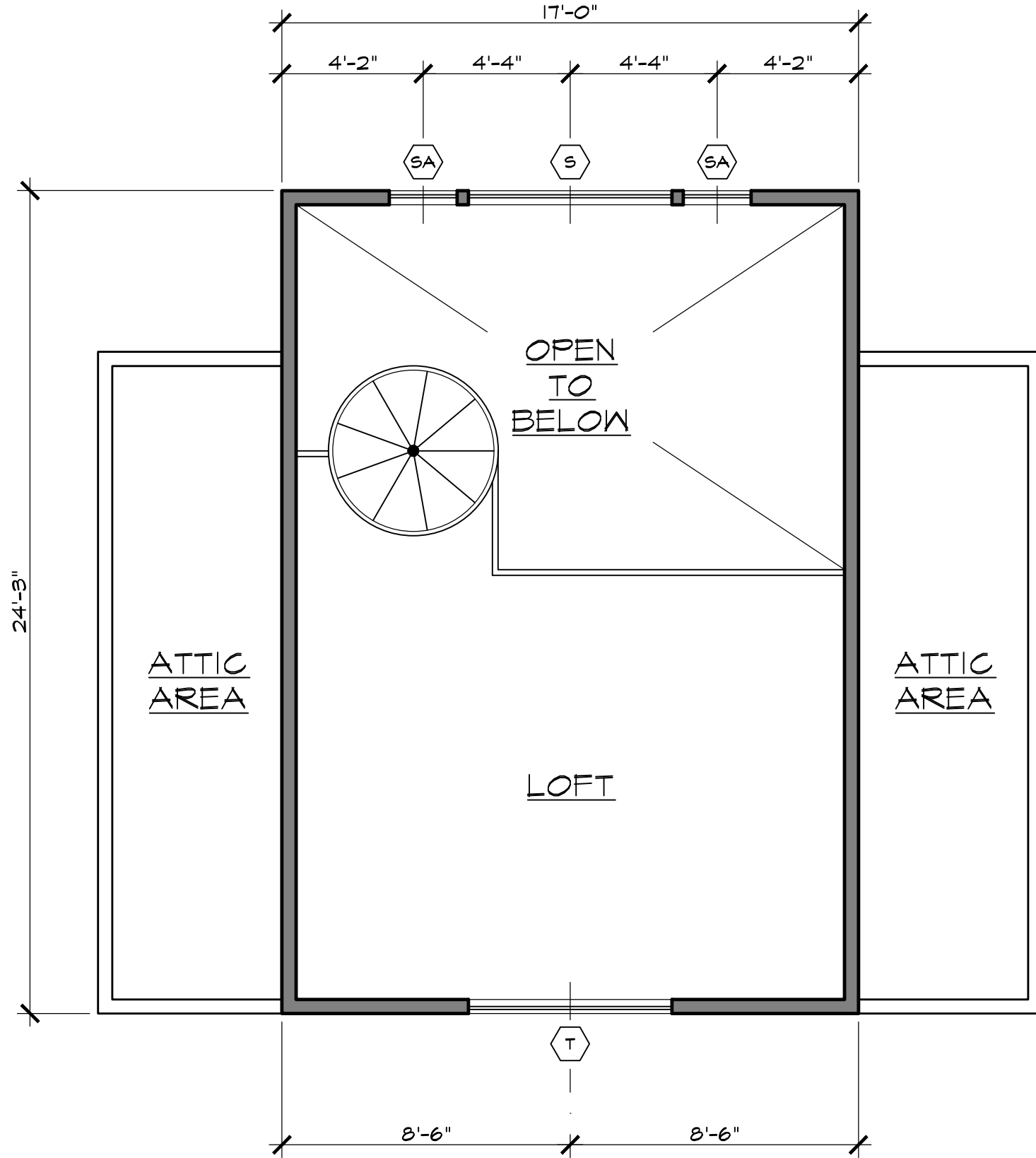
SCALE: 1/4" = 1'-0"



NEW POOL HOUSE LOFT PLAN

[224.3 S.F.]

SCALE: 1/4" = 1'-0"



NEW POOL HOUSE ROOF PLAN

SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND

NEW 2x6 #2 DF WOOD STUD WALL
W/R-19 BATT INSULATION, TYP.

NEW POOL HOUSE PLANS

ADDITION + REMODEL FOR:

RACHLIN RESIDENCE

1011 Harvard Avenue

Claremont, CA 91711

DATE
2014 JAN 21

JOB NO.

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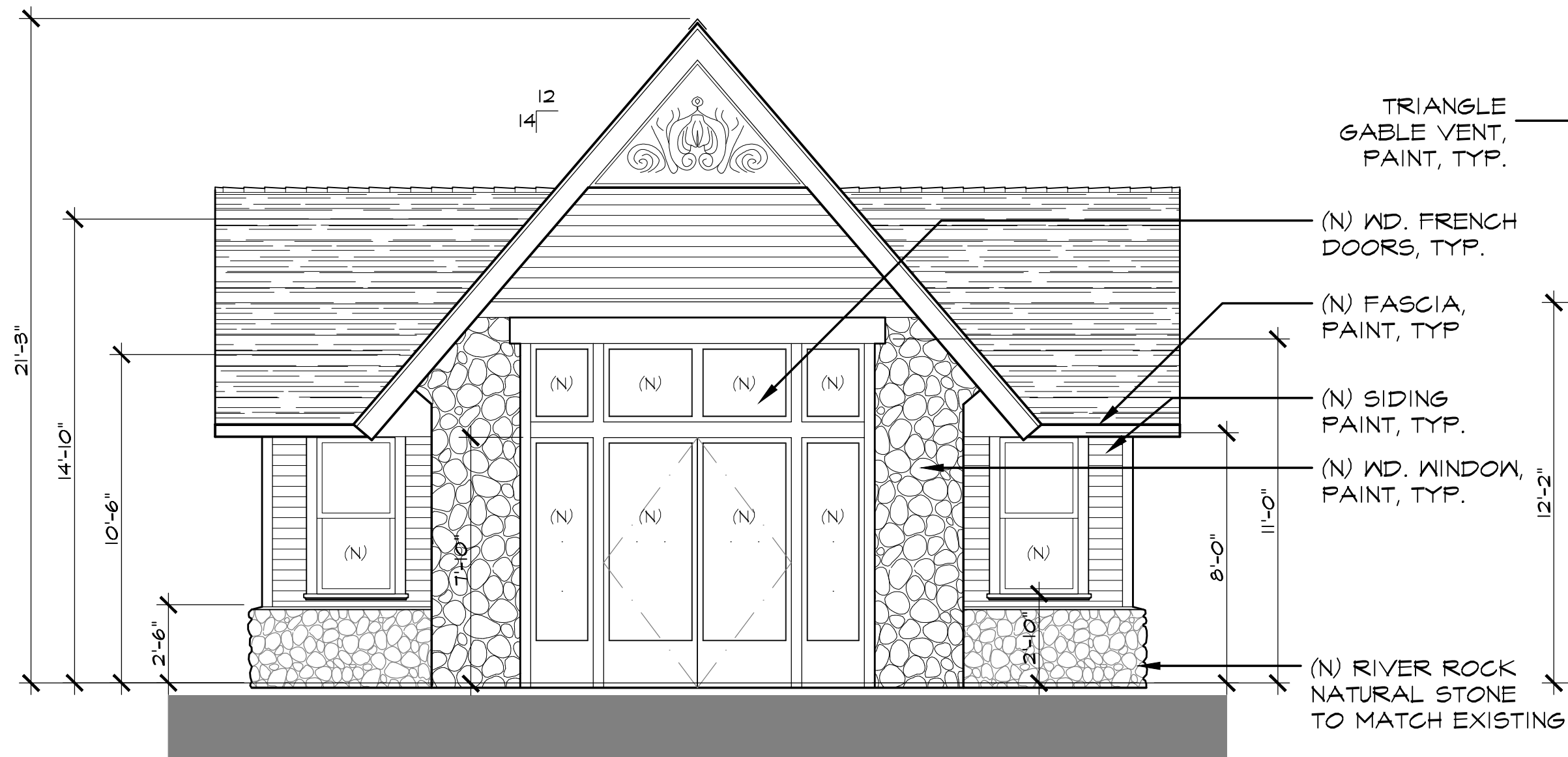
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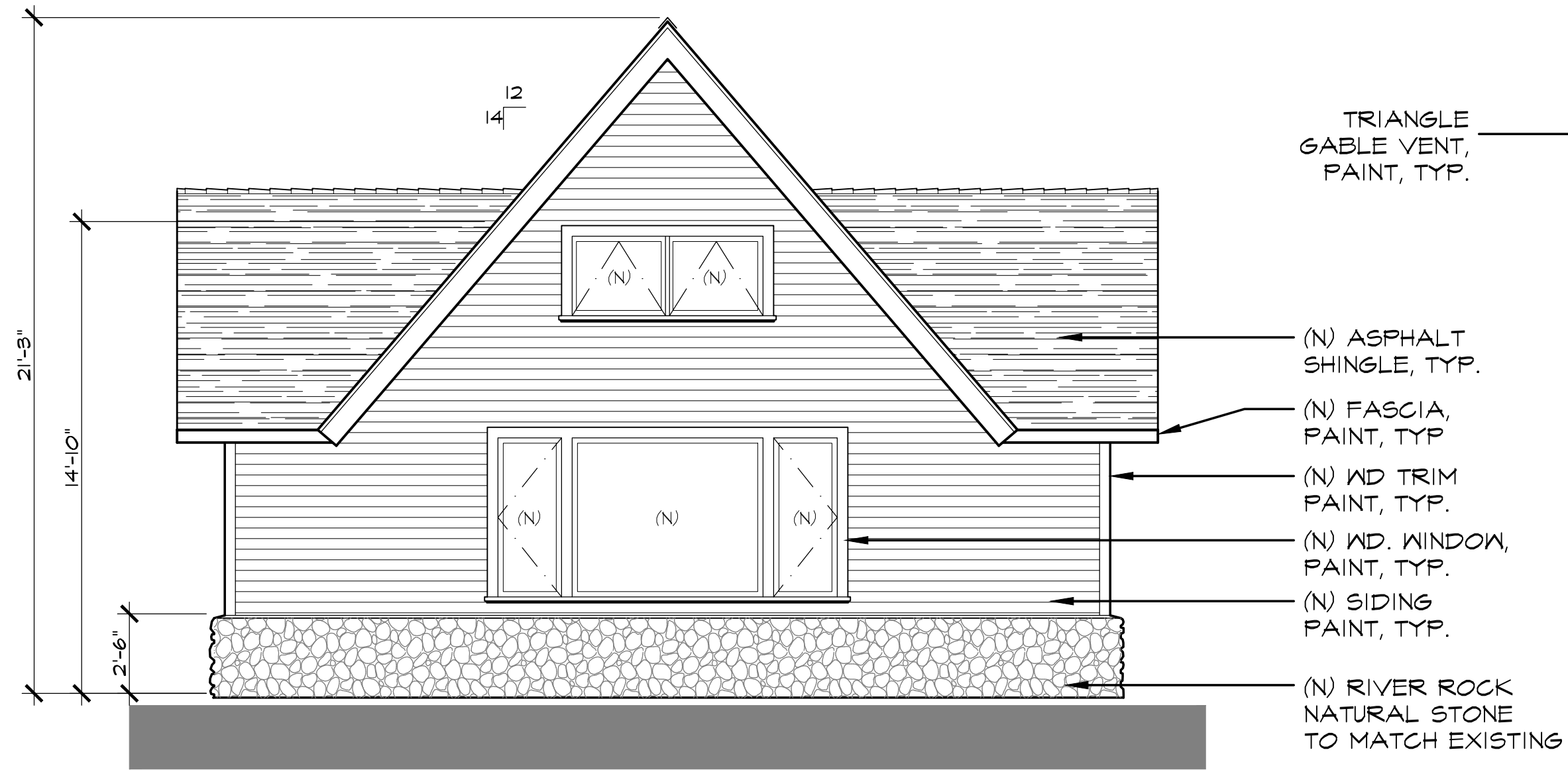
NEW POOL HOUSE ELEVATION: NORTH

SCALE: 1/4"=1'-0"



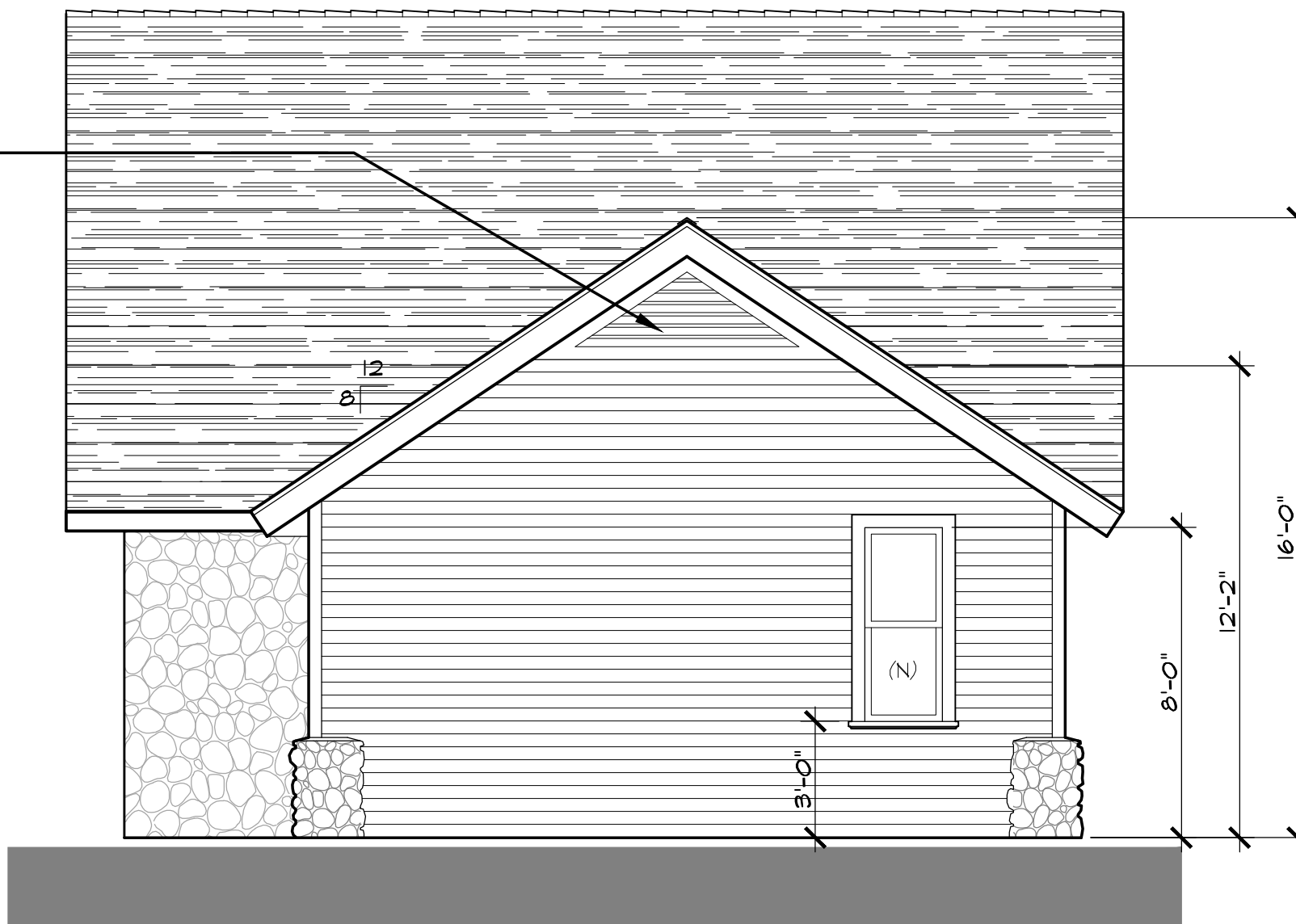
NEW POOL HOUSE ELEVATION: EAST

SCALE: 1/4"=1'-0"



NEW POOL HOUSE ELEVATION: SOUTH

SCALE: 1/4"=1'-0"



NEW POOL HOUSE ELEVATION: WEST

SCALE: 1/4"=1'-0"

COLOR & MATERIALS:

ROOF:	6AF TIMBERLINE HD SHINGLES CHARCOAL
SIDING:	BEHR PAINT SHUTTER GRAY PPU25-18
FASCIA & RAFTER TAIL:	BEHR PAINT SILKY WHITE PPU7-12
EAVES, DOORS & WINDOW TRIM:	BEHR PAINT SILKY WHITE PPU7-12
DOOR & WINDOW ACCENT:	BEHR PAINT CHARISMATIC PPU6-14
RIVER ROCK:	NATURAL STONE TO MATCH EXISTING

NEW POOL HOUSE ELEVATIONS

ADDITION + REMODEL FOR:

RACHLIN RESIDENCE
1011 Harvard Avenue
Claremont, CA 91711

DATE
2014 JAN 21

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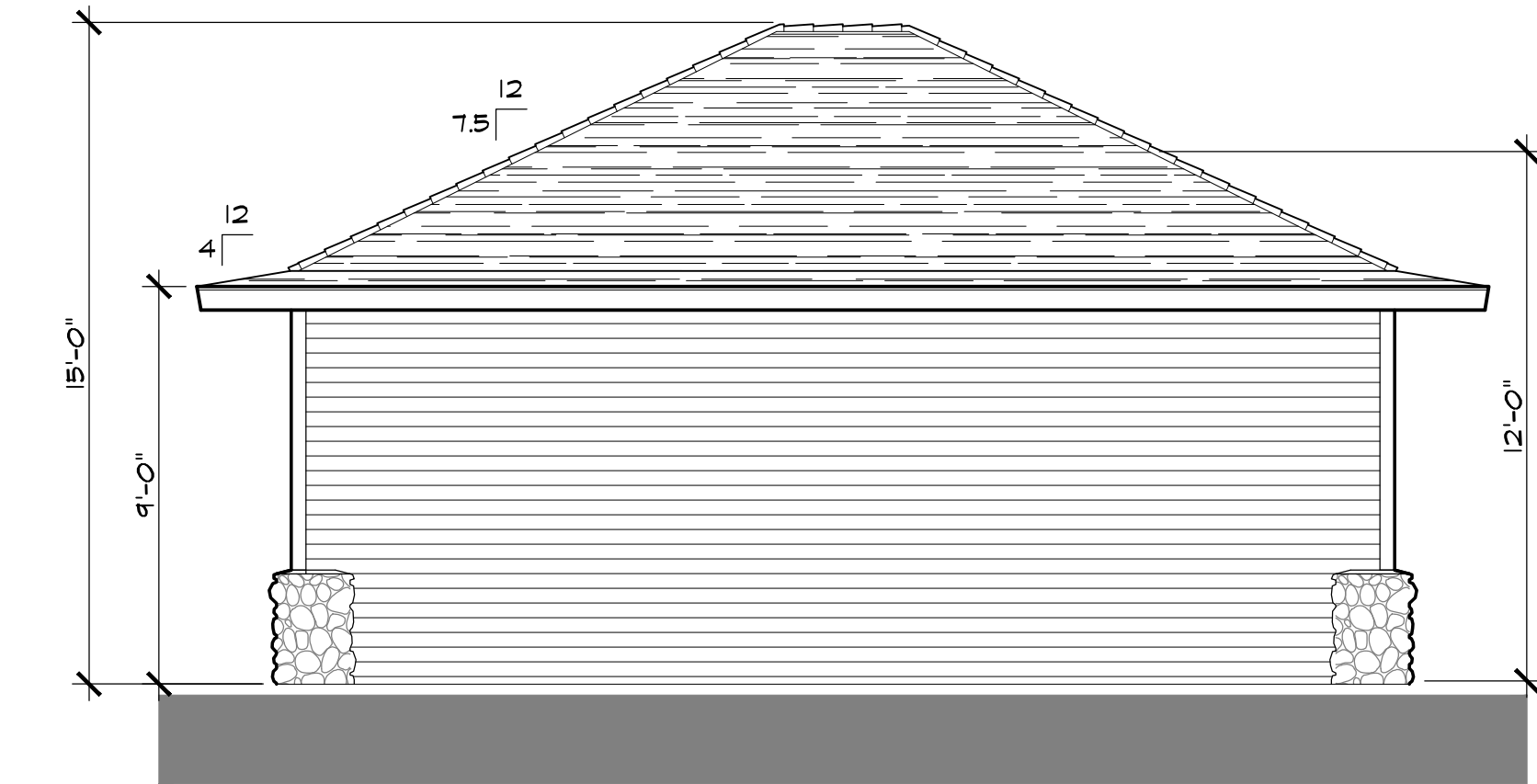
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PAUL S. WHEELER ARCHITECT 012185 MARCEN M. WHEELER ARCHITECT 014815

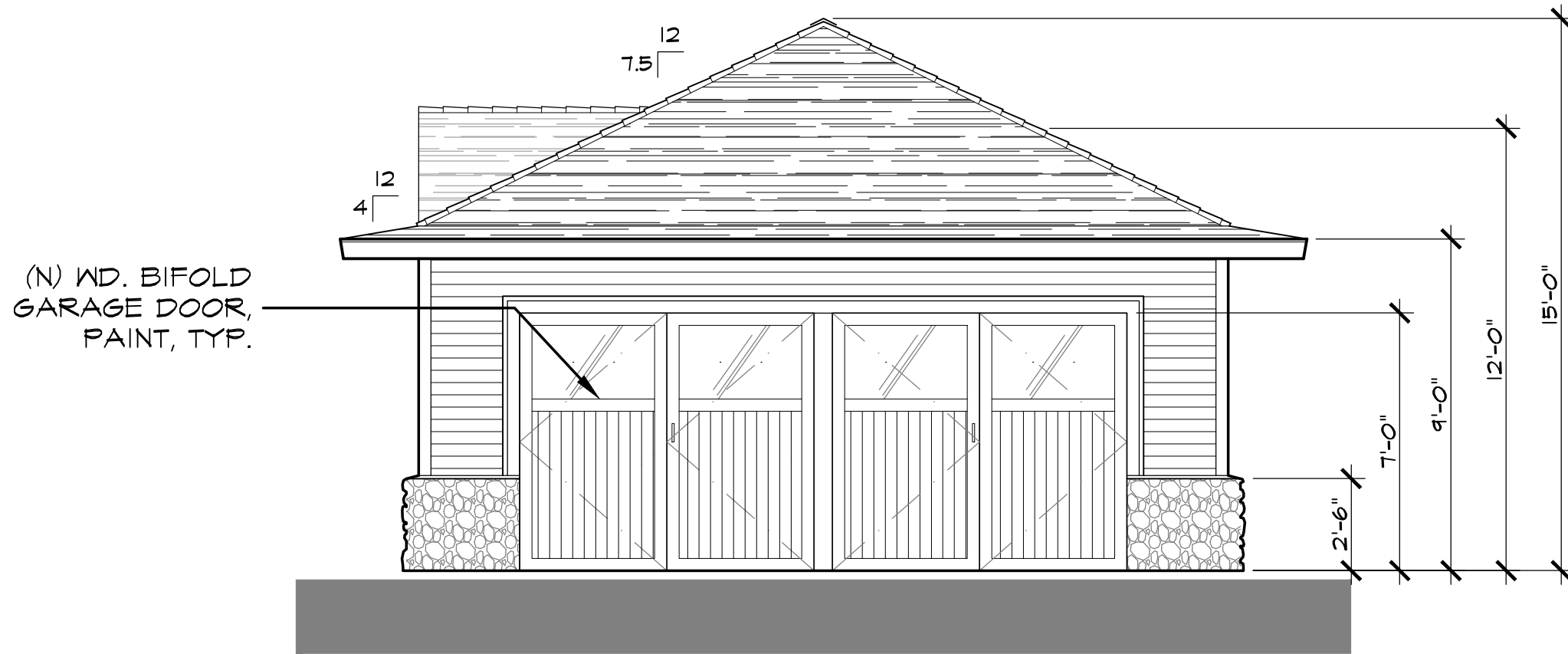
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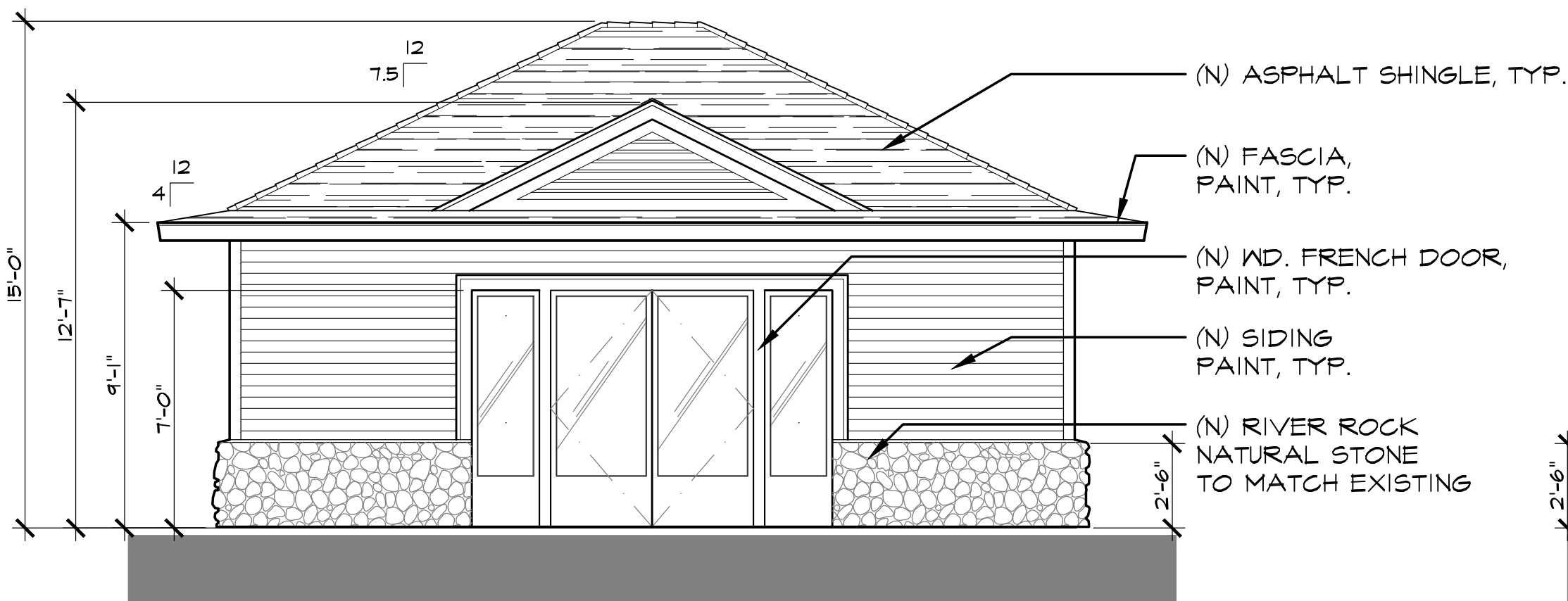
APN NO: 8309-012-004, 8309-012-005, 8309-012-006



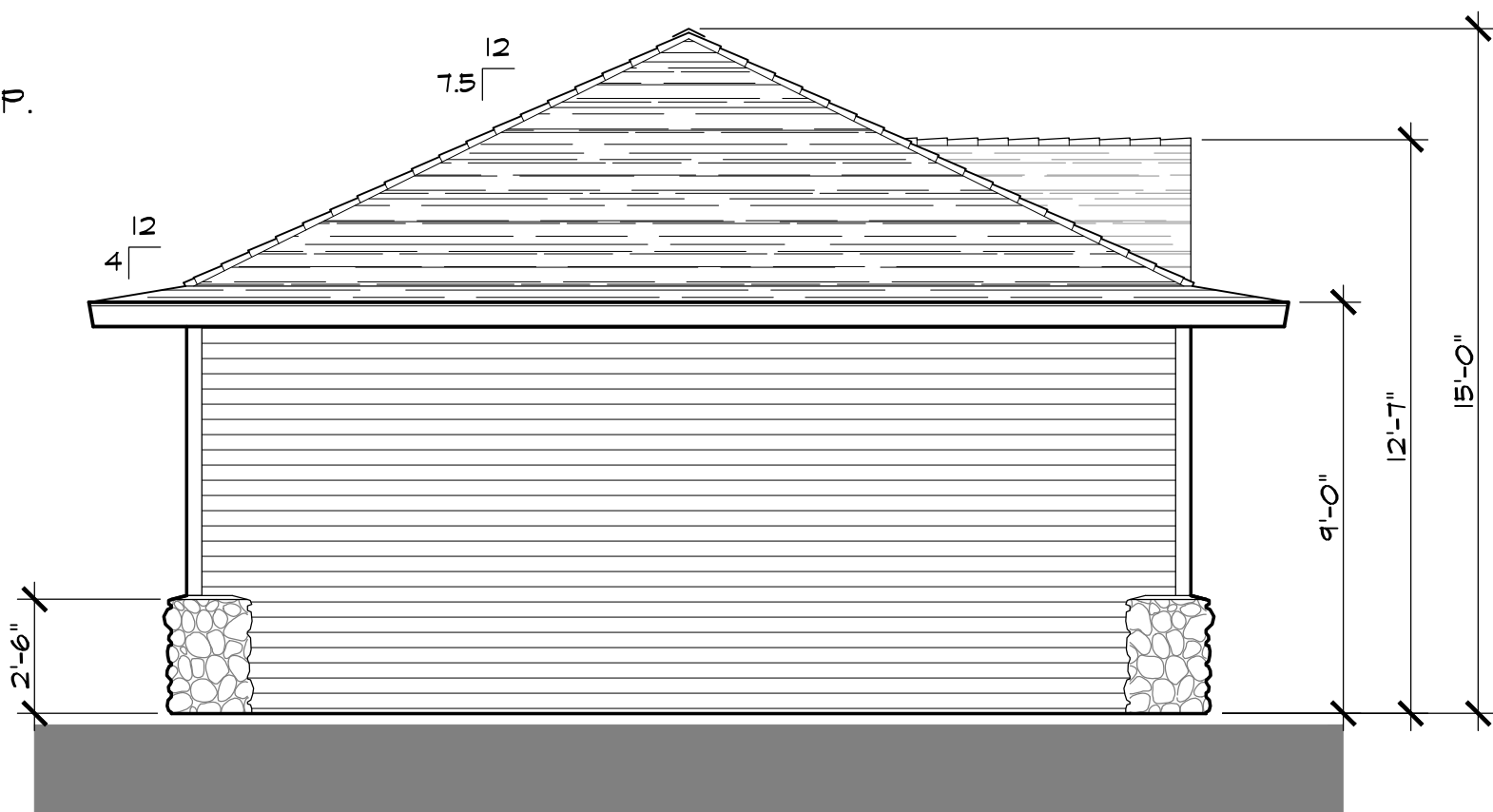
NEW GARAGE ELEVATION: NORTH



NEW GARAGE ELEVATION: EAST



NEW GARAGE ELEVATION: SOUTH



NEW GARAGE ELEVATION: WEST

SYMBOLS LEGEND

NEW 2x6 #2 DF WOOD STUD WALL
W/R-19 BATT INSULATION, TYP.

COLOR & MATERIALS:

ROOF: GAF TIMBERLINE HD SHINGLES CHARCOAL

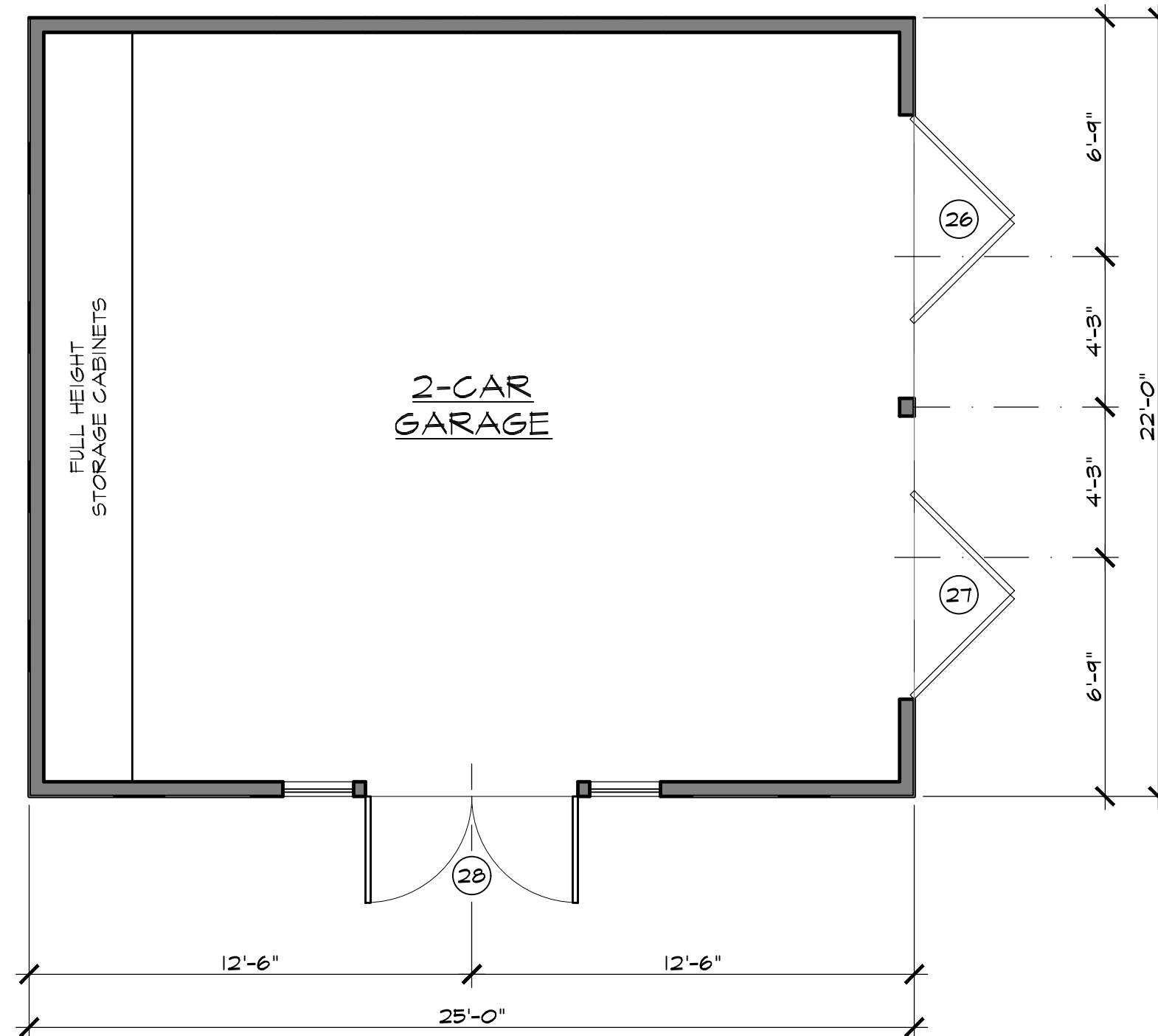
SIDING: BEHR PAINT SHUTTER GRAY PPU25-18

FASCIA & RAFTER TAIL: BEHR PAINT SILKY WHITE PPU7-12

EAVES, DOORS & WINDOW TRIM: BEHR PAINT SILKY WHITE PPU7-12

DOOR & WINDOW ACCENT: BEHR PAINT CHARISMATIC PPU6-14

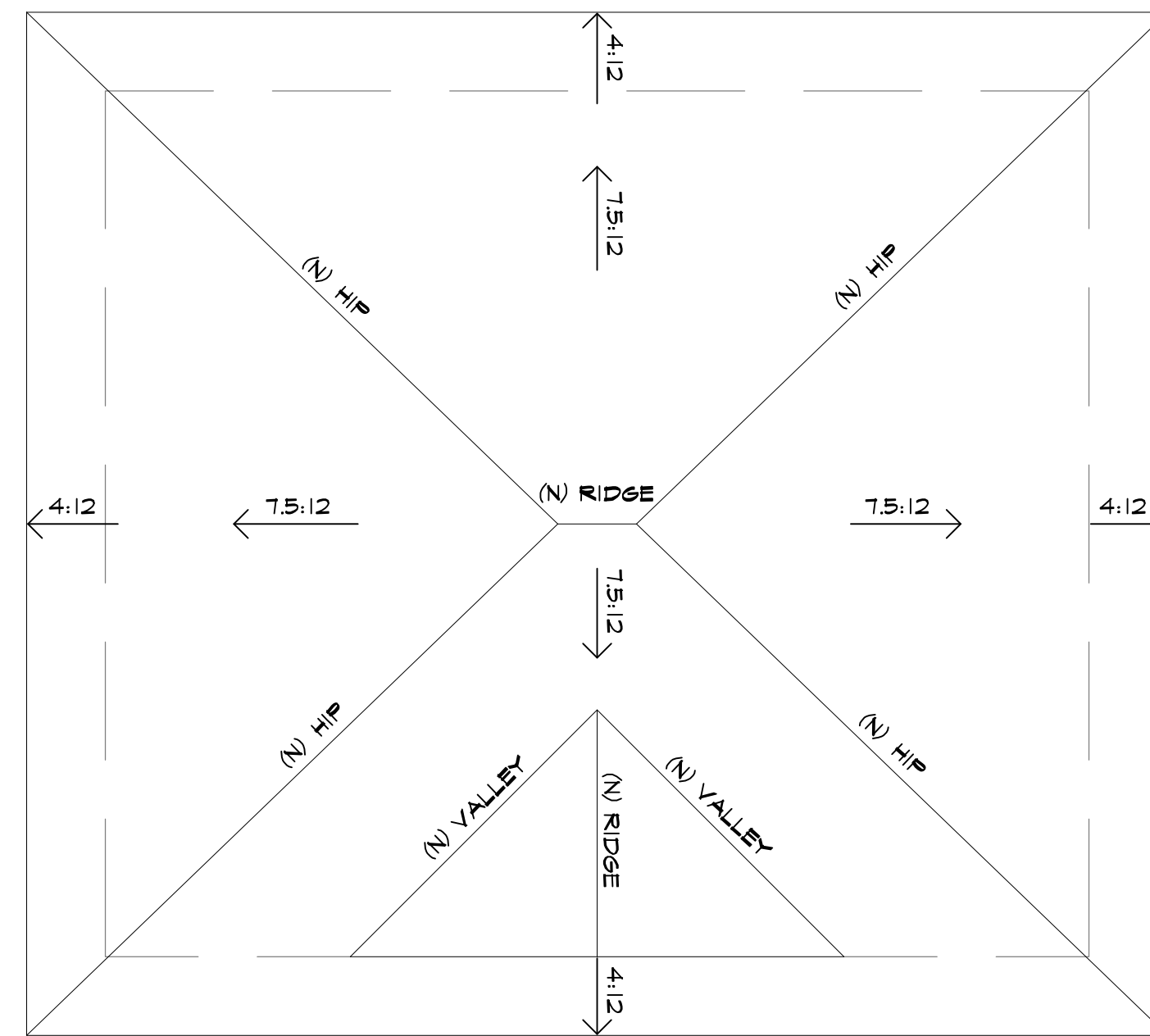
RIVER ROCK: NATURAL STONE TO MATCH EXISTING



NEW GARAGE PLAN

SCALE: 1/4"=1'-0"

[550.0 S.F.]



NEW GARAGE PLAN

SCALE: 1/4"=1'-0"

[550.0 S.F.]

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PAUL S. WHEELER ARCHITECT 01185
MARGEN M. WHEELER ARCHITECT 01185

NEW GARAGE PLANS + ELEVATIONS

ADDITION + REMODEL FOR:

RACHLIN RESIDENCE

1011 Harvard Avenue

Claremont, CA 91711

DATE
2014 JAN 21

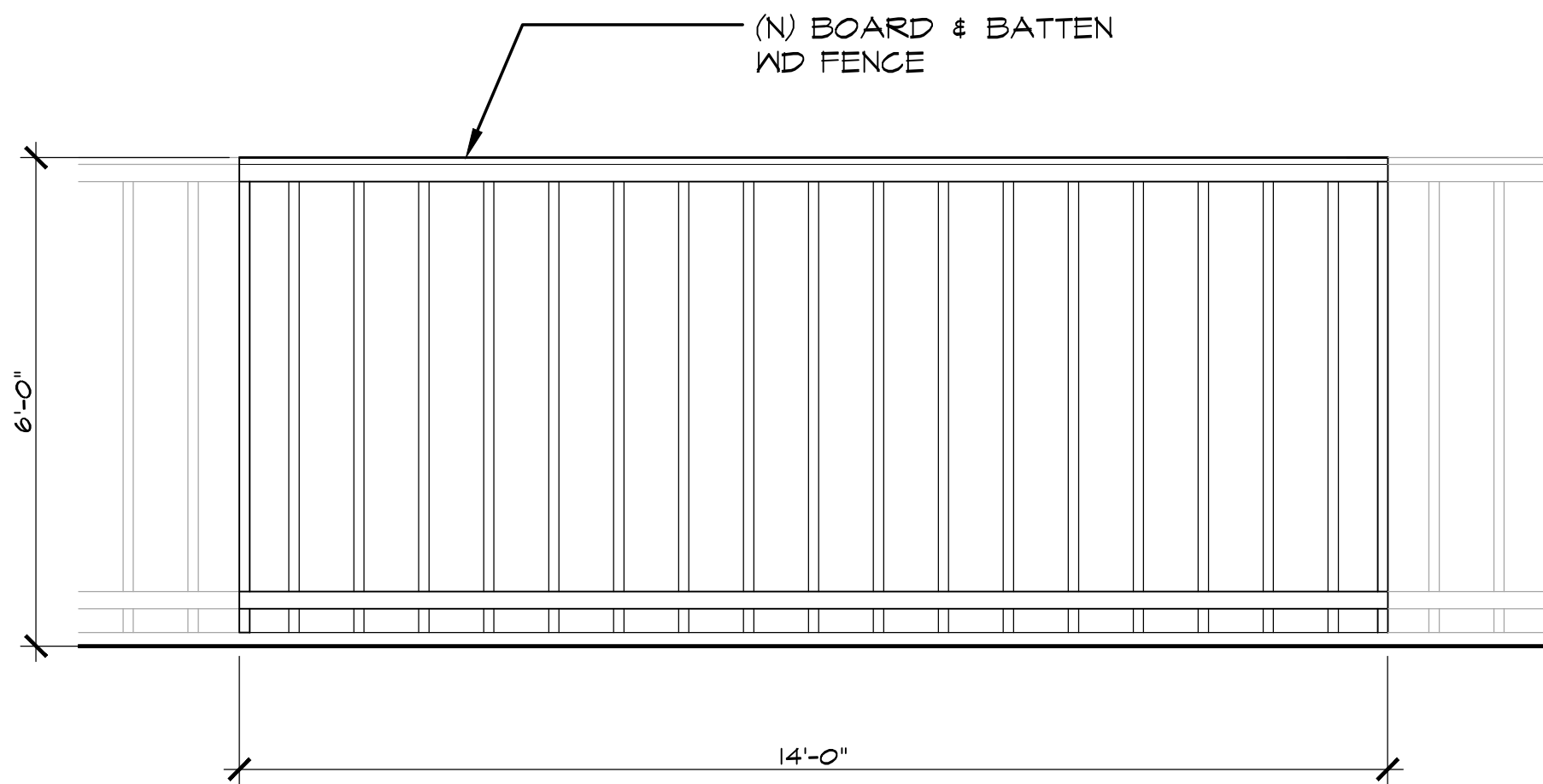
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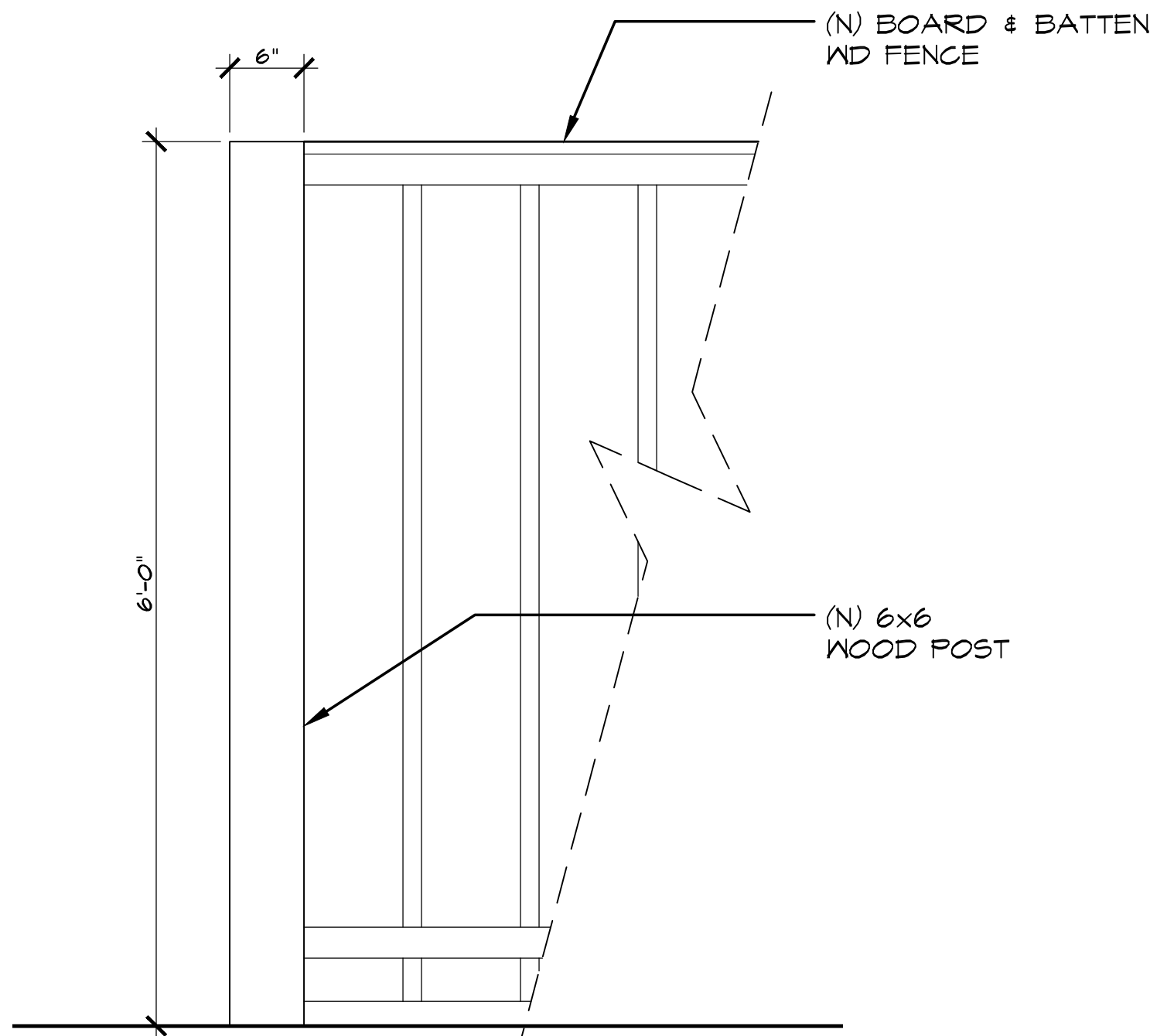
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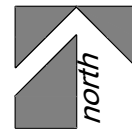
APN NO: 8309-012-004, 8309-012-005, 8309-012-006

**NEW AUTOMATIC SLIDING GATE**

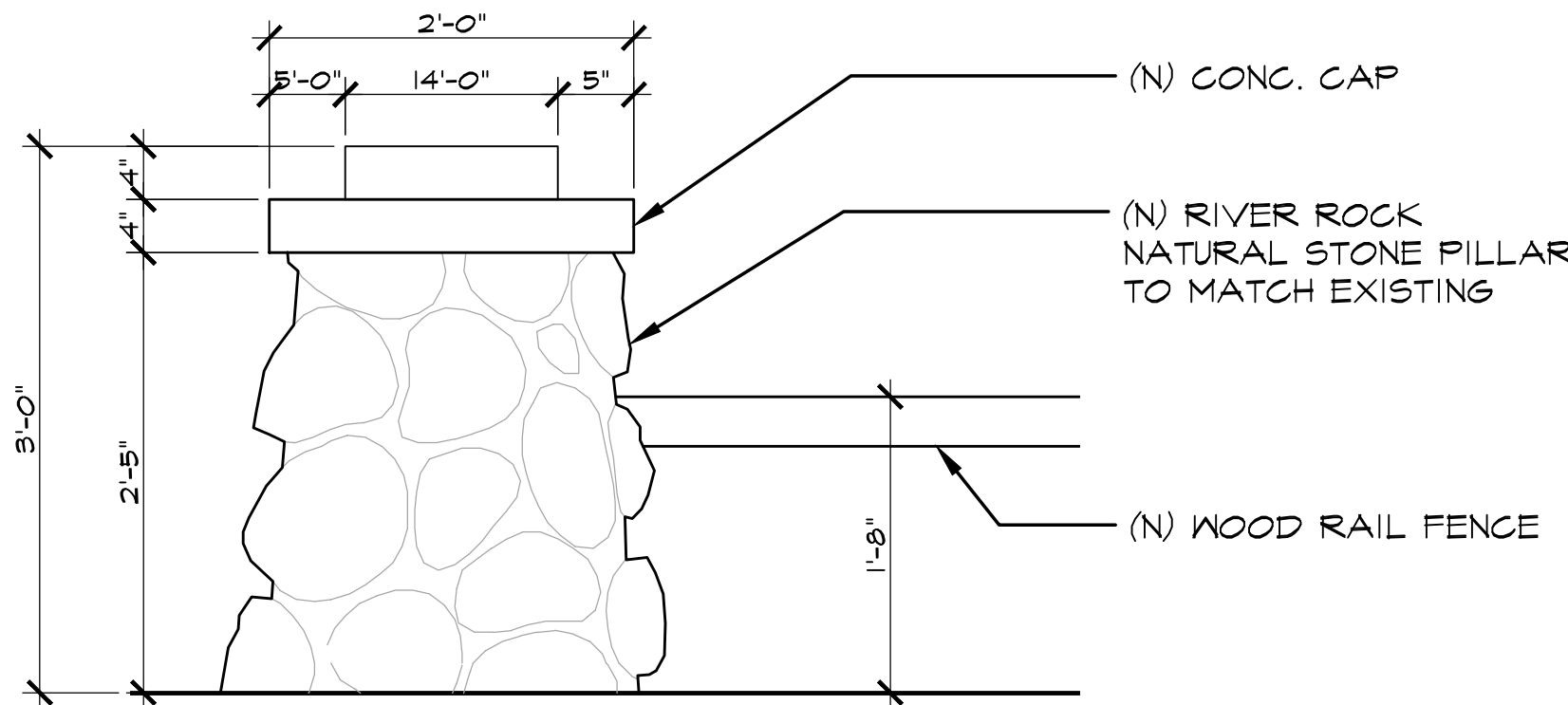
SCALE: 1/2" = 1'-0"

**CONCRETE PILLAR BOARD & BATTEN**

SCALE: 1" = 1'-0"

(N) FOOT PRINT
ADDITION**FOOTPRINT DIAGRAM**

SCALE: 1/4" = 1'-0"

**CONCRETE POST & WOOD RAIL FENCE ELEVATION**

SCALE: 1" = 1'-0"

DATE
2019 JAN 21
JOB NO.
DRAWN BY
JJ

DRAWING NO.

A5.0

FOOTPRINT COMPARISON DIAGRAM SHEET

ADDITION + REMODEL FOR:

RACHLIN RESIDENCE

1011 Harvard Avenue

Claremont, CA 91711

WHEELER & WHEELER**A R C H I T E C T S**ARCHITECTURE ■ INTERIORS ■ PLANNING
133 South Spring Street, Claremont, California 91711 909-624-5095 FAX 909-621-7757
PHOTO: K. WHEELER & WHEELER ARCHITECTS

NO. DATE REVISION

- - - - -

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SO.

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APN NO: 8309-012-004, 8309-012-005, 8309-012-006

DRAWING SIZE 24" X 36"

PLOT SCALE:

XREF NAME:

FILE NAME:

DOOR FINISH SCHEDULE

DOOR NUMBER	DOOR							FRAME					FIRE RATING	HARDWARE TYPE NUMBER	REMARKS
	DIMENSION			TYPE	CORE	MAT'L	FINISH	MAT'L	FINISH	DETAILS					
	WIDTH	HEIGHT	THK.							HEAD	JAMB	SILL			
①	3'-0"	7'-6"	1-3/4"	A	SC	WD	PAINT	WD	PAINT	-	-	-	-	-	EXISTING TO REMAIN
②	2'-6"	6'-8"	1-3/4"	C	SC	WD	PAINT	WD	PAINT	-	-	-			MATCH EXISTING FRONT ENTRY AS CLOSE AS POSSIBLE
③	12'-0"	8'-0"	1-3/4"	B	HM	MTL	PAINT	MTL	PAINT	-	-	-			NEW ACCORDIAN DOOR - SEE SPECS
④	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑤	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑥	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑦	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
MAIN HOUSE - 2ND FLOOR															
⑧	3'-0"	7'-2"	1-3/4"	E	SC	WD	PAINT	WD	PAINT	-	-	-			EXISTING TO REMAIN
⑨	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑩	4'-8"	7'-6"	1-3/4"	G	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑪	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑫	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑬	5'-2"	7'-6"	1-3/4"	G	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑭	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑮	2'-6"	6'-8"	1-3/4"	H	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑯	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑰	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑱	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑲	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
⑳	6'-8"	7'-6"	1-3/4"	G	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
㉑	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
㉒	3'-0"	6'-8"	1-3/4"	D	SC	WD	PAINT	WD	PAINT	-	-	-			RELOCATED DOOR
POOL HOUSE - 1ST FLOOR															
㉓	6'-0"	7'-0"	1-3/4"	F	SC	WD	PAINT	WD	PAINT	-	-	-			NEW DOOR, FRAME, SIDE LITES AND TRANSOM WINDOWS ABOVE
㉔	6'-0"	7'-0"	1-3/4"	F	SC	WD	PAINT	WD	PAINT	-	-	-			NEW DOOR, FRAME AND SIDE LITES
㉕	3'-0"	6'-8"	1-3/4"	T	SC	WD	PAINT	WD	PAINT	-	-	-			NEW DOOR & FRAME
GARAGE - 1ST FLOOR															
㉖	8'-0"	7'-0"	1-3/4"	I	SC	WD	PAINT	WD	PAINT	-	-	-			NEW DOOR, FRAME AND SIDE LITES
㉗	8'-0"	7'-0"	1-3/4"	I	SC	WD	PAINT	WD	PAINT	-	-	-			NEW DOOR, FRAME AND SIDE LITES
㉘	6'-0"	7'-0"	1-3/4"	F	SC	WD	PAINT	WD	PAINT	-	-	-			NEW DOOR, FRAME AND SIDE LITES

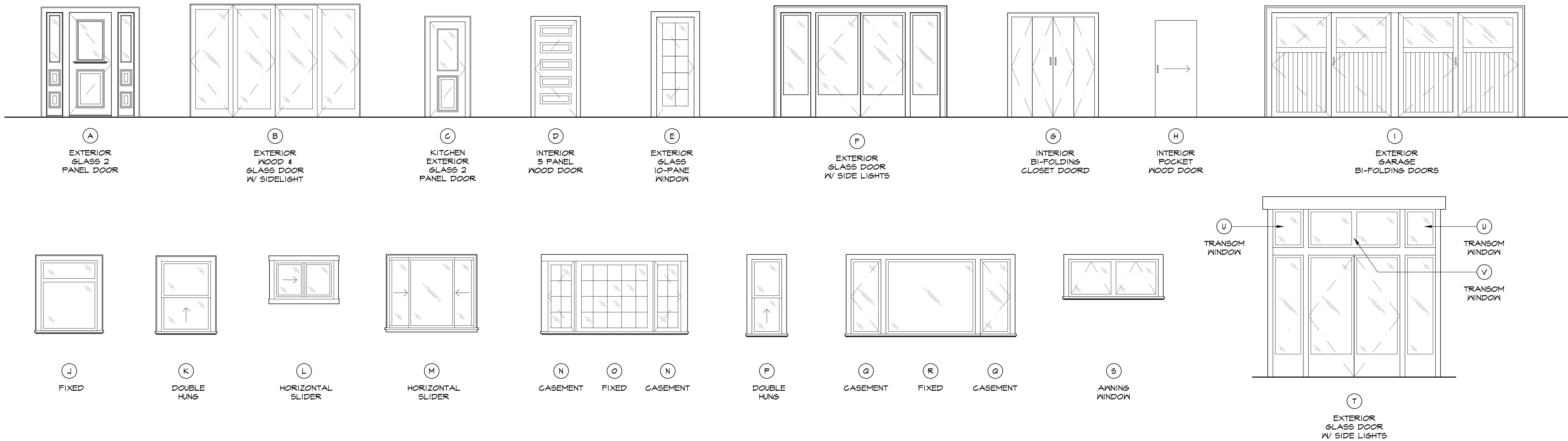
WINDOW SCHEDULE

WINDOW NUMBER	WINDOW								FRAME			FIRE RATING	REMARKS	
	DIMENSION			TYPE	GLAZ'G	FRAME	OPER	TINT	QTY	DETAILS				
	WIDTH	HEIGHT	HEAD A.F.F.							HEAD	JAMB			SILL
(A1)	4'-0"	5'-0"	-	J	DUAL	WOOD	YES	CLR		-	-	-	NO	EXISTING TO REMAIN: PICTURE WINDOW. REPLACE LOWER PANE W/ HISTORIC GLASS TO MATCH UPPER PANE GLAZING
(A2)	4'-0"	5'-0"	-	J	DUAL	WOOD	YES	CLR		-	-	-	NO	EXISTING TO REMAIN: PICTURE WINDOW. REPLACE GLAZING W/ HISTORIC GLASS AND BAR TO MATCH (A1)
(B)	5'-5"	5'-0"	-	N	DUAL	WOOD	YES	CLR		-	-	-	NO	EXISTING TO REMAIN: FIXED CASEMENT. ORIGINAL - NO CHANGE
(BA)	2'-0"	4'-10"	-	N	DUAL	WOOD	YES	CLR		-	-	-	NO	EXISTING TO REMAIN: OPERATIONAL CASEMENT. ORIGINAL - NO CHANGE
(C)	2'-0"	4'-0"	-	K	DUAL	WOOD	YES	CLR		-	-	-	NO	EXISTING TO BE RELOCATED TO (L) (ORIGINAL) REPLACE WITH NEW T.M. COBB (WOOD) 2x3 TO MATCH ORIGINAL.
(D)	3'-0"	4'-0"	-	K	DUAL	WOOD	YES	CLR	2	-	-	-	NO	NEW DBH TO MATCH EXISTING (NO GRIDS)
(E)	6'-0"	5'-0"	-	M	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW PM / N / CASEMENT - XOX TO MATCH EXISTING (NO GRIDS)
(F)	5'-5"	5'-10"	-	N	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW PM / N / CASEMENT - XOX TO MATCH EXISTING (B) EXISTING TO BE RELOCATED TO (K) (ORIGINAL)
(FA)	2'-0"	5'-0"	-	N	DUAL	WOOD	YES	CLR		-	-	-	NO	
(S)	6'-0"	5'-0"	-	P	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW PM / N / CASEMENT - XOX TO MATCH EXISTING (B) EXISTING TO BE RELOCATED TO (L) (ORIGINAL)
(SA)	3'-6"	5'-0"	-	P	DUAL	WOOD	YES	CLR		-	-	-	NO	
MAIN HOUSE - 2ND FLOOR														
(H)	3'-6"	5'-0"	-	K	DUAL	WOOD	YES	CLR	2	-	-	-	NO	EXISTING DH TO REMAIN (ORIGINAL)
(J)	3'-0"	5'-0"	-	K	DUAL	WOOD	YES	CLR	3	-	-	-	NO	EXISTING DH TO REMAIN (ORIGINAL)
(K)	3'-6"	5'-0"	-	K	DUAL	WOOD	YES	CLR		-	-	-	NO	RELOCATED EXISTING DHS ORIGINAL WINDOW FROM (F)
(L)	3'-0"	5'-0"	-	K	DUAL	WOOD	YES	CLR	3	-	-	-	NO	RE-USED EXISTING REMOVED DBH - TYP. OF 3
(M)	4'-3"	2'-6"	-	L	DUAL	WOOD	YES	CLR	2	-	-	-	NO	NEW SL (XO) 4x3'
(N)	3'-0"	5'-0"	-	K	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW DBH 3x5' T.M. COBB TO MATCH ORIGINAL (WOOD)
POOL HOUSE - 1ST FLOOR														
(P)	2'-6"	5'-0"	-	P	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW WINDOW & FRAME
(Q)	6'-0"	5'-0"	-	R	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW WINDOW & FRAME
(QA)	2'-0"	5'-0"	-	Q	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW WINDOW & FRAME
(R)	2'-0"	5'-0"	-	P	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW WINDOW & FRAME
POOL HOUSE - 2ND FLOOR														
(S)	6'-0"	2'-0"	-	V	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW WINDOW & FRAME
(SA)	2'-6"	2'-0"	-	U	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW WINDOW & FRAME
(T)	6'-0"	2'-0"	-	S	DUAL	WOOD	YES	CLR		-	-	-	NO	NEW WINDOW & FRAME

NOTES:

1. GLAZING IN DOORS AND WINDOWS WITHIN 24" OF A DOOR SHALL BE SAFETY GLAZING (TEMPERED).
2. GLAZING IN WINDOWS WITHIN 18" OF THE FLOOR SHALL BE SAFETY GLAZING (TEMPERED GLASS).
3. SAFETY GLAZING REQUIRED FOR GLAZING LESS THAN 36" ABOVE BOTTOM LANDING AND WITHIN 60" OF BOTTOM TREAD.

DOOR & WINDOW TYPES



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NO.	DATE	REVISION
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WHEELER & WHEELER
ARCHITECTURE ■ INTERIORS ■ PLANNING
133 South Spring Street, Claremont, California 91711 909-624-5095 FAX 909-621-7757
WHEELER & WHEELER ARCHITECTS, INC.

SCHEDULES
ADDITION + REMODEL FOR:
RACHLIN RESIDENCE
1011 Harvard Avenue
Claremont, CA 91711

DATE 2019 JAN 21
JOB NO. 1
DRAWN BY JJ

DRAWING NO.
A6.0

APN NO: 8309-012-004, 8309-012-005, 8309-012-006

WHEELER & WHEELER ARCHITECTS

Architecture • Interiors • Planning
133 Spring Street Claremont, CA 91711
909•624•5095 FAX 909•621•7757

JOB _____

SHEET NO. _____ OF _____

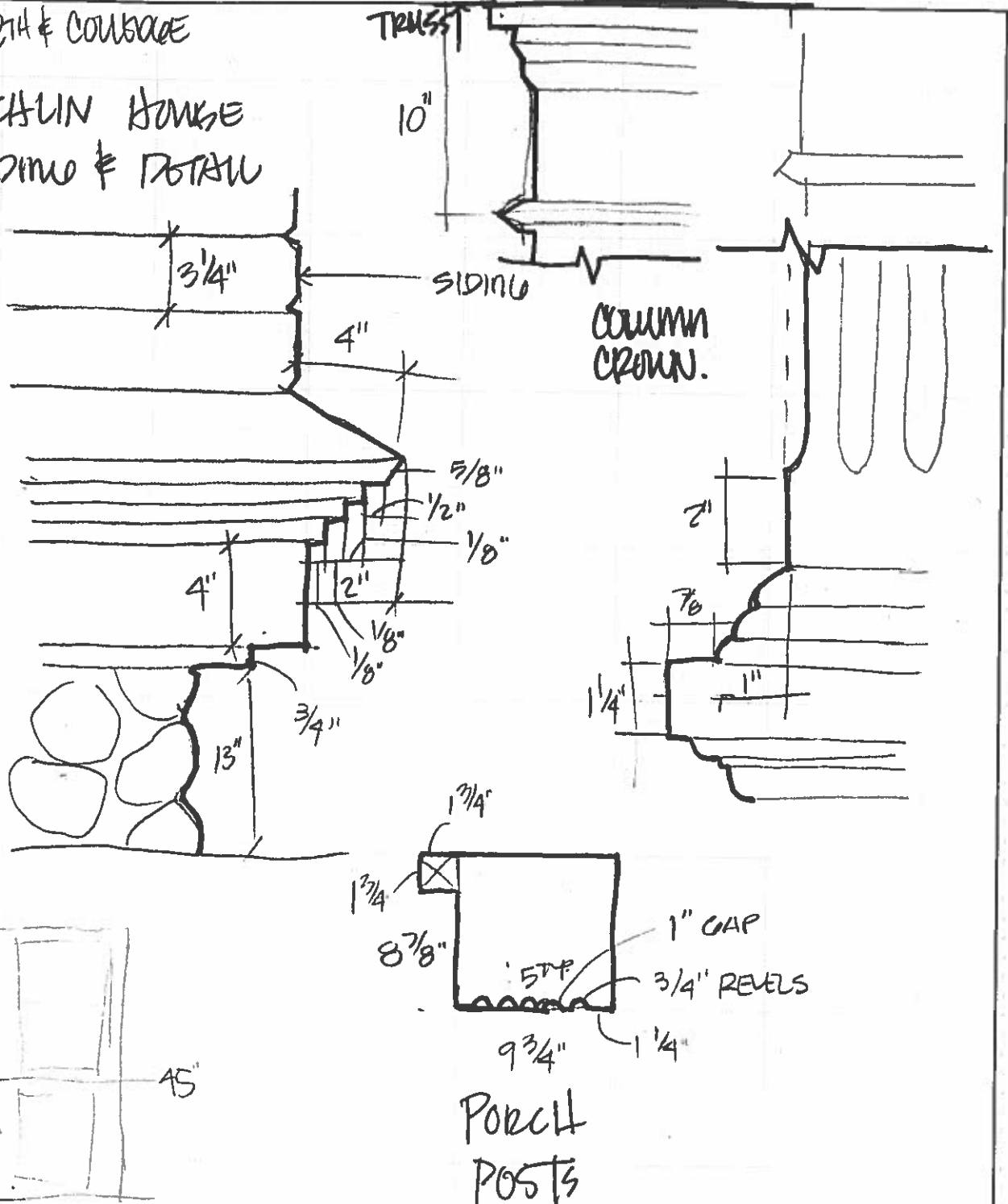
CALCULATED BY _____ DATE _____

CHECKED BY _____ DATE _____

SCALE _____

12th & COURAGE

RACHLIN HOUSE
SIDING & DETAIL





909.621.0848
 ClaremontHeritage.org
 info@ClaremontHeritage.org

THE GARNER HOUSE 840 N. Indian Hill Blvd., Claremont, CA | MAIL: PO Box 742, Claremont CA 91711

June 3, 2019

Nik Hlady
 Planner
 City of Claremont

RE: 1011 Harvard Ave.

1011 Harvard Ave. is a significant property as it entails 3 adjacent lots (two conjoined) with a large American Foursquare home built for C.C. Johnson in 1905. When the home was built it was located on 40 acres that was subdivided by the original owner to become the "C.C. Johnson addition" to Claremont. More recently, the home was featured in the beginning of every episode of the 1970s TV Show "Maude," as the home's façade was used as Maude's house.

Claremont Heritage has reviewed a set of plans for the remodel and addition of 1011 Harvard Ave. The plan successfully addresses what is now a somewhat awkward 1970s porch conversion and additions to the first and second floors at the back of the home. The plans show much improved north and south and west elevations, with massing, siding and trim details that better integrates the new and renovated spaces with the historic structure. One small point that could use improvement – Heritage is somewhat concerned with the total lack of windows on one wall of the south elevation, especially in contrast with the very regular fenestration of the windows on the 2nd floor of the same elevation. This is a minor point, and overall, the street view is the main consideration in terms of preserving historical neighborhood and architectural character. We feel the design solution is consistent with the Secretary of Interior Standards for Rehabilitation of Historic Structures, and improves the architectural integrity of the home.

The architects also have thoughtfully considered the siting of the new pool and accessory structures on the large property. Overall, Claremont Heritage appreciates the care that was taken in the design of the new pool as well as that of the garage and pool house. The long rectilinear pool seems entirely appropriate to the balanced formality of the home. The new structures are kept far enough away for the existing home to let it "breathe." The garage, which does not replace any existing structure, has a carriage house appearance that feels right for the age and style of the home. The east elevation even shows carriage-style doors. The pool house feels like it is the right size for the yard and reflects design elements characteristic of the main house. The gable is even decorated with a new version of the decorative composition ornament that is a design hallmark of the original home.

Overall, Claremont Heritage approves of plans for the remodel and addition of 1011 Harvard Ave and the favorable way the architect addresses the older addition. We are also in support of the new site plan and accessory structures.

Sincerely,

David L. Shearer, Executive Director

HISTORIC RESOURCES INVENTORY

(State use only)

Ser _____ Site _____ Mo. _____ Yr. _____

UTM _____ Q _____ NR _____ SHL _____

Lat _____ Lon _____ Era _____ Sig _____

Adm _____ T2 _____ T3 _____ Cat _____ HABS _____ HAER _____ Fed _____

11/433960/3773680

IDENTIFICATION

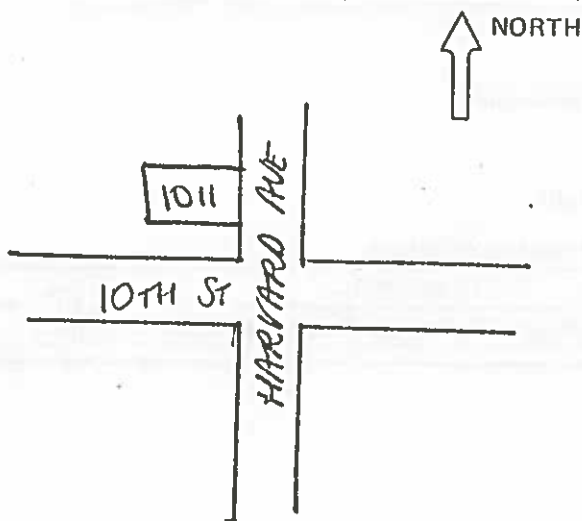
- Common name: _____
- Historic name, if known: C. C. Johnson
- Street or rural address 1011 Harvard
City: Claremont ZIP: 91711 County: Los Angeles
- Present owner, if known: Ilan Palmer Address: _____
City: _____ ZIP: _____ Ownership is: Public ☐ Private ☒
- Present Use: Residence Original Use: _____
Other past uses: _____

DESCRIPTION

- Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

Complex two story frame very imaginative American Colonial Revival house painted smooth wood siding with hip roof of wood shake with exposed rafters, 3 foot eave overhang. Looks larger than average. Stone foundation. Two story freestanding porches have distinctive carved relief in pediments over both upper and lower lower porches. Porches have fluted pillars. Multi-light windows on south and deck in rear. Stone chimneys.

- Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



- Approximate property size:
Lot size (in feet) Frontage 151
Depth 160
or approx. acreage _____
- Condition: (check one)
a. Excellent ☐ b. Good ☒ c. Fair ☐
d. Deteriorated ☐ e. No longer in existence ☐
- Is the feature a. Altered? ☐ b. Unaltered? ☒
- Surroundings: (Check more than one if necessary)
a. Open land ☐ b. Scattered buildings ☐
c. Densely built-up ☐ d. Residential ☐
e. Commercial ☐ f. Industrial ☐
g. Other ☐ _____
- Threats to site:
a. None known ☐ b. Private development ☐
c. Zoning ☐ d. Public Works project ☐
e. Vandalism ☐ f. Other ☐ _____
- Date(s) of enclosed photograph(s): 1978

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone ☐ b. Brick ☐ c. Stucco ☐ d. Adobe ☐ e. Wood ☒
f. Other ☐
15. Is the structure: a. On its original site? ☐ b. Moved? ☐ c. Unknown? ☐
16. Year of initial construction 1905 This date is: a. Factual ☒ b. Estimated ☐
17. Architect (if known): _____
18. Builder (if known): _____
19. Related features: a. Barn ☐ b. Carriage house ☐ c. Outhouse ☐ d. Shed(s) ☐ e. Formal garden(s) ☐
f. Windmill ☐ g. Watertower/tankhouse ☐ h. Other ☐ i. None ☐

SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

Originally built by Cassius Johnson in 1905, the house was located in a 40-acre subdivision known as the C. C. Johnson addition to Claremont. The plot included the area between 10th Street and Foothill Boulevard, Indian Hill Boulevard and a line half way between Harvard and College Avenues.

Mrs. Louise A. Johnson, wife of the early-day Claremont developer, continued living in the home until her death in June, 1950.

The house has also been the residence of John Fuller and his family. It is now owned by Hans and Beverly Palmer. Hans is a Professor of Economics at Pomona College, and Beverly teaches English at Pitzer College.

The house was featured as Maude's house in the TV series "Maude" which ran from 1973 to 1978.

21. Main theme of the historic resource: (Check only one): a. Architecture ☒ b. Arts & Leisure ☐
c. Economic/Industrial ☐ d. Exploration/Settlement ☐ e. Government ☐ f. Military ☐
g. Religion ☐ h. Social/Education ☒

22. Sources: List books, documents, surveys, personal interviews, and their dates:

City Records

Courier Article, December, 1951

Interview with Beverly Palmer by Judy Wright.

23. Date form prepared: 4/4/79 By (name): Andrus/Koblik/Barber
Address: 833 Amador City Claremont ZIP: 91711
Phone: 626 5972 Organization: Claremont Historic Preservation Project

(State Use Only)



Claremont Architectural Commission

Agenda Report

File #: 2939

Item No: 3.

TO: ARCHITECTURAL COMMISSION

FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR

DATE: JUNE 12, 2019

Reviewed by:
Finance Director: N/A

SUBJECT:

FOOTHILL BOULEVARD IMPROVEMENTS UPDATE - ORAL REPORT

RECOMMENDATION

Staff recommends that the Architectural Commission receive and file the update report for the Foothill Boulevard Improvements

PUBLIC NOTICE PROCESS

This item has been noticed through the regular agenda notification process. Copies are available at the City Hall public counter, Youth Activity Center, Alexander Hughes Community Center, and City website.

Submitted by:

Brad Johnson
Community Development Director

Prepared by:

Chris Veirs
Principal Planner